



PLANNING AGENDA

Tuesday, 2 July 2019

The Jeffrey Room, The Guildhall, St. Giles
Square, Northampton, NN1 1DE

5:00 pm

Members of the Committee

Councillor: Brian Oldham (Chair), Jamie Lane (Deputy Chair)

Councillors: Alan Bottwood, Mary Markham, Matthew Golby, Andrew Killbride, Samuel Kilby-Shaw, Catherine Russell, Jane Birch, Paul Joyce, Enam Haque, Arthur McCutcheon and Brian Markham.

Chief Executive

George Candler

If you have any enquiries about this agenda please contact democraticservices@northampton.gov.uk or 01604 837722



PLANNING COMMITTEE

AGENDA

Meetings of the Planning Committee will take place at 5:00pm on 2nd July, 30th July, 3rd September, 24th September, 22nd October, 19th November, 17th December 2019, and 21st January, 18th February and 17th March 2020.

The Council permits public speaking at the Planning Committee as outlined below:

Who Can Speak At Planning Committee Meetings?

- Up to 2 people who wish to object and up to 2 people who wish to support an individual planning applications or any other matter on the public agenda.
- Any Ward Councillors who are not members of the Planning Committee. If both Ward Councillors sit on the Planning Committee, they may nominate a substitute Councillor to speak on their behalf.
- A representative of a Parish Council.

How Do I Arrange To Speak?

- Anyone wishing to speak (not including Ward Councillors who must let the Chair know before the start of the meeting) must have registered with the Council's Democratic Services section not later than midday on the day of the Committee.
NB: the Council operate a 'first come, first serve' policy and people not registered to speak will not be heard. If someone who has registered to speak does not attend the meeting their place may be relocated at the discretion of the Chair.

Methods of Registration:

- By telephone: 01604 837722
- In writing to: Northampton Borough Council, The Guildhall, St. Giles Square, Northampton , NN1 1DE, Democratic Services (Planning Committee)

by email to: democraticservices@northampton.gov.uk

When Do I Speak At The Meeting

- A Planning Officer may update the written committee report then those registered to speak will be invited to speak.
- Please note that the planning officer can summarise issues after all the speakers have been heard and before the matter is debated by the Planning Committee Members and a vote taken.

How Long Can I Speak For?

- All speakers are allowed to speak for a maximum of three minutes.

Other Important Notes

- Speakers are only allowed to make statements – they may not ask questions or enter into dialogue with Councillors, Officers or other speakers.
- Consideration of an application will not be delayed simply because someone who is registered to speak is not in attendance at the time the application is considered
- Confine your points to Planning issues: Don't refer to non-planning issues such as private property rights, moral issues, loss of views or effects on property values, which are not a material consideration on which the decision will be based.

- You are not allowed to circulate new information, plans, photographs etc that has not first been seen and agreed by the Planning Officers
- Extensive late representations, substantial changes, alterations to proposals etc. will not be automatically accepted, due to time constraints on Councillors and Officers to fully consider such changes during the Planning Committee Meeting.

NORTHAMPTON BOROUGH COUNCIL

PLANNING COMMITTEE

Your attendance is requested at a meeting to be held:
in The Jeffrey Room, The Guildhall, St. Giles Square, Northampton, NN1
1DE

on Tuesday, 2 July 2019

at 5:00 pm.

AGENDA

1. **APOLOGIES**
2. **MINUTES**
3. **DEPUTATIONS / PUBLIC ADDRESSES**
4. **DECLARATIONS OF INTEREST/PREDETERMINATION**
5. **MATTERS OF URGENCY WHICH BY REASON OF SPECIAL CIRCUMSTANCES THE CHAIR IS OF THE OPINION SHOULD BE CONSIDERED**

6. **LIST OF CURRENT APPEALS AND INQUIRIES**

Report of Head of Planning (copy herewith)

7. **OTHER REPORTS**

(A) **LOCAL VALIDATION REQUIREMENTS DOCUMENT**

8. **NORTHAMPTONSHIRE COUNTY COUNCIL APPLICATIONS**

9. **NORTHAMPTON BOROUGH COUNCIL APPLICATIONS**

10. **ITEMS FOR DETERMINATION**

(Copy of addendum herewith)

(A) **N/2018/1696 - CONSTRUCTION OF 5NO DETACHED DWELLINGS, GARAGES AND NEW VEHICULAR ACCESS. PLOT 1 DEVELOPMENT LAND, HARBOROUGH ROAD NORTH**

(B) **N/2018/1697 - CONSTRUCTION OF 4NO DETACHED DWELLINGS, GARAGES AND NEW VEHICULAR ACCESS. PLOT 2 DEVELOPMENT LAND, HARBOROUGH ROAD NORTH**

(C) **N/2018/1698 - CONSTRUCTION OF 5 NO DETACHED DWELLINGS, GARAGES AND NEW VEHICULAR ACCESS. PLOT 3 DEVELOPMENT LAND, HARBOROUGH ROAD NORTH**

- (D) **N/2019/0239 - VARIATION OF CONDITION 2 OF PLANNING PERMISSION N/2017/1479 (REFURBISHMENT AND EXTENSION OF EXISTING BUILDING (71-77B ABINGTON STREET), INCLUDING ADDITIONAL FLOORS ABOVE GROUND LEVEL RANGING IN HEIGHT FROM TWO TO FIVE STOREYS, 48NO RESIDENTIAL FLATS (USE CLASS C3), CAR PARKING, LANDSCAPING, ASSOCIATED SERVICING, BIN AND CYCLE STORAGE) TO REVISE ACCESS ARRANGEMENT, RELOCATE ENTRANCE TO REAR OF UNIT 8, AMEND INTERNAL CIRCULATION TO SUIT, REDUCTION OF EXTENT OF RETAIL CONVERTED TO RESIDENTIAL AND OMISSION OF LIFT. 71 - 77B ABINGTON STREET**
- (E) **N/2019/0369 - CREATION OF NEW PARKING AREA OUTSIDE OF PROPERTY, INCLUDING DROPPED KERB, REMOVAL OF PART OF GRASSED AREA AND REPOSITIONING OF FOOTPATH. 18 EASTFIELD ROAD, DUSTON**
- (F) **N/2019/0401 - EXTENSION TO EXISTING EDUCATIONAL BUILDING AND PERIMETER FENCING. RECTORY FARM FARMHOUSE, OLDEN ROAD**
- (G) **N/2019/0478 - CHANGE FROM HOUSE IN MULTIPLE OCCUPATION (USE CLASS C4) FOR 5 OCCUPANTS TO HOUSE IN MULTIPLE OCCUPATION (USE CLASS C4) FOR 6 OCCUPANTS (AMENDMENT TO PLANNING PERMISSION N/2018/1149). 109 LEA ROAD**

11. NORTHAMPTON PARTNERSHIP HOMES APPLICATIONS

- (A) **N/2019/0182 - DEMOLITION OF 38NO DOMESTIC GARAGES AND ERECTION OF 5NO NEW BUILD TERRACE UNITS. GARAGE 1 LOCK UP GARAGES, STOCKLEY STREET**
- (B) **N/2019/0319 - DEMOLITION OF 7NO DOMESTIC LOCK UP GARAGES AND ERECTION OF 2NO NEW DWELLINGS. LOCK UP GARAGES, THYME COURT**
- (C) **N/2019/0392 - CONSTRUCTION OF 2NO NEW BUILD UNITS AND CAR PARKING SPACES. LAND ADJACENT TO 37, WINDERMERE WAY**
- (D) **N/2019/0602 - SINGLE STOREY REAR EXTENSION. 23 CAMPION COURT**

12. ITEMS FOR CONSULTATION

13. EXCLUSION OF PUBLIC AND PRESS

THE CHAIR TO MOVE:

“THAT THE PUBLIC AND PRESS BE EXCLUDED FROM THE REMAINDER OF THE MEETING ON THE GROUNDS THAT THERE IS LIKELY TO BE DISCLOSURE TO THEM OF SUCH CATEGORIES OF EXEMPT INFORMATION AS DEFINED BY SECTION 100(1) OF THE LOCAL GOVERNMENT ACT 1972 AS LISTED AGAINST SUCH ITEMS OF BUSINESS BY REFERENCE TO THE APPROPRIATE PARAGRAPH OF SCHEDULE 12A TO SUCH ACT.”

PHOTOGRAPHY AND AUDIO/VISUAL RECORDINGS OF MEETINGS

Anyone may record meetings of the Council, the Cabinet, any Committee or Sub-Committee of the Council through any audio, visual or written method to include taking photographs of meetings, filming meetings or making audio recordings of meetings. The Chair of the meeting shall have the discretion to revoke the permission in the event that the exercise of the permission is disturbing the conduct of the meeting in any way or when it is otherwise necessary due to the nature of the business being transacted at the meeting. Permission may only be exercised where the public have the right to attend the meeting; and if a meeting passes a motion to exclude the press and public, then in conjunction with this, all rights to record the meetings are removed.

NORTHAMPTON BOROUGH COUNCIL

PLANNING COMMITTEE

Tuesday, 4 June 2019

PRESENT: Councillor Oldham (Chair); Councillor Lane (Deputy Chair);
Councillors Birch, Choudary, Golby, Kilbride, Kilby-Shaw, M
Markham, McCutcheon and Russell

OFFICERS Peter Baguley (Head of Planning), Nicky Scaife (Development
Management Team Leader), Adam Smith (Principal Planning Officer),
James Chadwick (Legal Advisor), Ed Bostock (Democratic Services
Officer)

1. APOLOGIES

Apologies for absence were received from Councillors Bottwood and Lane. It was noted that Councillors Golby and Kilby-Shaw would be arriving late.

2. MINUTES

It was explained that there were typographical errors in the minutes contained within the printed agenda. Corrected versions of these were circulated.

The minutes of the meetings held on 19th February, 16th April and 7th May 2019 were then agreed, and signed by the Chair.

3. DEPUTATIONS / PUBLIC ADDRESSES

RESOLVED:

That with the agreement of the Chair, the members of the public and Ward Councillors listed below were granted leave to address the Committee:

N/2018/0837

Cathrine Russell
Councillor Birch
John Byrne

N/2019/0052

Barry Waine
Councillor Davenport

N/2018/1348

Gary Owens

N/2018/1770

Gary Owens

N/2019/0141

Gary Owens

N/2019/0324

Gary Owens

N/2019/0337

Gary Owens

N/2019/0387

Gary Owens

4. DECLARATIONS OF INTEREST/PREDETERMINATION

Councillor M Markham declared a personal and disclosable pecuniary interest in respect of items 11a, 11b, 11c, 11d, 11e, 11f and 11g as a board member of Northampton Partnership Homes (NPH).

Councillor Kilbride declared a personal and disclosable pecuniary interest in respect of items 11a, 11b, 11c, 11d, 11e, 11f and 11g as a board member of NPH.

Councillor Russell declared a predetermination in respect of item 10a and advised that she would leave the room after addressing the Committee.

Councillor Birch declared a predetermination in respect of item 10a and advised that she would leave the room after addressing the Committee.

5. MATTERS OF URGENCY WHICH BY REASON OF SPECIAL CIRCUMSTANCES THE CHAIR IS OF THE OPINION SHOULD BE CONSIDERED

None.

6. LIST OF CURRENT APPEALS AND INQUIRIES

The Development Management Team Leader submitted a List of Current Appeals and Inquiries on behalf of the Head of Planning. She explained that 2 of 3 appeals relating to applications for a change of use to residential apartments at 36 Derrigate, and a new dwelling at 8 Grange Avenue, refused under delegated powers had been dismissed, with the inspector agreeing with findings made by planning officers. An appeal relating to 24 Lawson Crescent for a new dwelling had been allowed; the Inspector concluded that the impact on the neighbouring property would not be significant.

In response to a question on the prior notification applications for telecom proposals awaiting appeal decisions, the Head of Planning clarified that the only matters officers could consider in respect of such proposals were siting and external appearance. The Head of Planning advised that developers were using loopholes in planning policy for such telecoms equipment, the majority of which include advertisements, as a way of getting around the advertisement regulations; the Inspectorate were inundated with appeals and this was a likely reason for delays in appeal decisions.

RESOLVED:

That the report be noted.

7. OTHER REPORTS

None.

8. NORTHAMPTONSHIRE COUNTY COUNCIL APPLICATIONS

None.

9. NORTHAMPTON BOROUGH COUNCIL APPLICATIONS

(A) N/2019/0435 - CONSTRUCTION OF NEW BRICK BUILT BIN STORE AND PATHWAY FOR KERBSIDE COLLECTION. CHESTER HOUSE, GALLFIELD COURT

The Development Management Team Leader submitted a report to the Committee. She explained that the application sought to provide storage for Euro bins; the flats currently used standard wheelie bins so this would provide more organised refuse storage for residents.

The Committee heard that the refuse storage would be brick built and gated for security.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

10. ITEMS FOR DETERMINATION

(A) N/2018/0837 - CHANGE OF USE FROM DWELLINGHOUSE (USE CLASS C3) TO HOUSE IN MULTIPLE OCCUPATION (USE CLASS C4) FOR 5 OCCUPANTS. 82 STANHOPE ROAD

The Development Management Team Leader submitted a report to the Committee. Members' attention was drawn to the addendum which contained 2 further objections to the application. The Committee heard that the ground floor living room would be divided to create 2 bedrooms and the upstairs bathroom divided to create an extra bathroom. It was noted that Private Sector Housing raised no objection to the application and the concentration of HIMO properties in a 50m radius, including the application site, would be 7.4%. Although the Local Highway Authority objected to the application and requested a parking beat survey be carried out, the applicant declined due to the property being in a sustainable location within 400m of bus stops and walking distance of local facilities.

Cathrine Russell, as a local resident, spoke against the application and commented that the property, due to its size, would lend itself much better as a home for a couple or small family, but not 5 single adults. She explained that HIMOs in the area were already causing issues including antisocial behaviour, noise, waste, and parking problems.

Councillor Russell left the room for the remainder of the discussion.

Councillor Birch, in her capacity as the Ward Councillor, spoke against the application and stated that double parking frequently reached levels where emergency vehicles could not access the road and commented that HIMO's were causing an unbalancing of communities. She further commented that the application was misleading in that the 2 off-road parking spaces were shown accessed via a service road over which the applicant had no access.

When asked if she was challenging the 7.4% concentration figure, Councillor Birch explained that the general area was high and that HIMO's were disruptive to long-standing residents. She further commented that she regularly attended residents' meetings and confirmed that parking was residents' main concern.

Councillor Birch left the room for the remainder of the discussion.

Alan Byrne, the owner and applicant, spoke in favour of the application and confirmed that there were 5 bus stops within 400m of the property, 2 specifically serving the university. He further confirmed that his property would be let to students of the university. Mr Byrne noted recent planning decisions where properties sat in a sustainable location and advised that his application met the requirements set by national and local policies.

Responding to a question, Mr Byrne explained that he reduced the number of bedrooms from 6 to 5 as recommended by Private Sector Housing.

The Development Management Team Leader advised that the number of occupants was controlled by a condition and that if breached, the owner would be subject to enforcement.

Committee members requested that the "2 parking spaces" as written in the report be removed due to them not being accessible to occupants of the premises.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

(B) N/2019/0052 - SINGLE STOREY REAR EXTENSION TO HOUSE IN MULTIPLE OCCUPATION. 144 LONDON ROAD

Councillors Russell and Birch re-joined the meeting.

Councillor Kilby-Shaw joined the meeting at this point and advised of no declarations of interest.

The Development Management Team Leader submitted a report to the Committee. Members' attention was drawn to the addendum which contained additional comments from the Local Highway Authority. The Committee heard that since the

property was currently operating as a HIMO, concentration figures were not a consideration in this instance.

Councillor Davenport, in her capacity as the Ward Councillor, spoke against the application and commented that existing HIMO properties were causing problems for residents, including parking and waste issues. She advised that a parking survey carried out in June 2018 had revealed that the street had reached 111% parking capacity.

Responding to a question around noise, Councillor Davenport explained that it was noise from HIMO properties, and not general street noise, that she referred to when calling in the application.

The Head of Planning confirmed that it fell to the 2 parties to agree when dealing with party walls issues; this was separate to planning legislation.

Barry Waine, the agent on behalf of the applicant, spoke in favour of the application and commented that there would be no visual impact on the conservation area, and confirmed that there were strict rules around the times that parking beat surveys could be carried out. Mr Waine further confirmed that the application accorded with the Interim Planning Policy Statement (IPPS), concentration was not a material consideration in this instance, and that there were no objections from any other regulatory bodies.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

(C) N/2019/0383 - REMOVE SLOPE TO GROUND LEVEL AND BUILD RETAINING WALL AROUND EDGE, TURF AND LIMESTONE SLAB AREA. 84 MAIDENCASTLE

The Principal Planning Officer submitted a report to the Committee. Members were informed that the application sought approval to dig down and create a flat and more usable garden space for the occupant of the property.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

(D) N/2019/0425 - VARIATION OF CONDITION 2 OF PLANNING PERMISSION N/2018/0743 (TWO STOREY SIDE AND REAR EXTENSIONS) TO REFLECT TRUE POSITION OF EXISTING GROUND FLOOR WINDOW IN RELATION TO FIRST FLOOR DORMERS AND ADDITION OF 3NO NEW ROOFLIGHTS (2NO TO FRONT AND 1NO TO REAR ELEVATION) RETROSPECTIVE. 18 TANFIELD LANE

The Development Management Team Leader submitted a report to the Committee. Members' attention was drawn to the addendum which contained further objections to the application. Members heard that the retrospective application sought to vary the plans to reflect the true position of an existing window, and add 3 roof lights. It was noted that consultation would not end until the 5th June 2019 so a change to the recommendation was suggested, that delegated authority be given to the Head of Planning in consultation with the Chair to consider any further representations.

In response to a question, the Committee heard that there was no usable room proposed in the roof space.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to delegated powers to the Head of Planning in consultation with the Chair to consider any further representations received following expiry of neighbour re-consultation period.

(E) N/2019/0470 - VARIATION OF CONDITIONS 2 AND 8 OF PLANNING PERMISSION N/2019/0127 (CHANGE OF USE FROM HOUSE IN MULTIPLE OCCUPATION FOR 4 OCCUPANTS (USE CLASS C4) TO HOUSE IN MULTIPLE OCCUPATION FOR 5 OCCUPANTS (USE CLASS C4) WITH SINGLE STOREY REAR EXTENSION) TO SWITCH LOUNGE WITH BEDROOM AND PROVIDE EN-SUITE FACILITY TO BEDROOM 5. 6 HOLLY ROAD

The Development Management Team Leader submitted a report to the Committee. Members' attention as drawn to the addendum which contained an additional objection to the application. The Committee heard that the application sought permission to swap the ground floor living room and bedroom.

In response to questions, the Committee were informed that every bedroom in the property benefitted from an en-suite bathroom, with an additional bathroom as well.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

11. NORTHAMPTON PARTNERSHIP HOMES APPLICATIONS

(A) N/2018/1348 - DEMOLITION OF 7NO DOMESTIC GARAGES AND CONSTRUCTION OF ONE NEW-BUILD SHELTERED HOUSING BUNGALOW. LOCK UP GARAGES REAR OF 56 TO 64 GLOUCESTER AVENUE

The Principal Planning Officer submitted a report to the Committee. Members were informed that the application sought approval for the demolition of 7 garages to allow for the construction of a sheltered housing bungalow and 4 parking spaces.

In response to questions, the Committee heard that there was no proposal for an electric vehicle charging point to be installed at the property and that the service would be gas and electricity. Gary Owens, Project Manager at NPH, advised that a replacement tree could be provided and that 1 of the 7 garages on site was occupied and had since been relocated. He further explained that new homes were not to be offered solar panels as part of a government scheme; the deal ended in March 2018.

Councillor Kilby-Shaw stated that he could not support the application due to the Council passing 2 motions at its meeting on 3rd June declaring a “climate emergency” and the proposed dwellings running on fossil fuels.

Councillor Joyce echoed the comments made by Councillor Kilby-Shaw and both councillors left the meeting at this juncture.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

(B) DEMOLITION OF 6NO. GARAGES AND ERECTION OF 1 NEW BUILD DWELLING AND PARKING. GARAGES 19 TO 24, PIKEMead COURT

The Principal Planning Officer submitted a report to the Committee. Members’ attention was drawn to the addendum which contained further objections to the application. Members were informed that the development would comprise of a single bungalow and 3 off-street parking spaces. A footpath to the rear of the property provide access to neighbouring gardens. It was reported that Councillor Duffy had withdrawn her objection to the application.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

(C) N/2019/0138 - DEMOLITION OF 13NO DOMESTIC GARAGES AND ERECTION OF 1NO NEW BUILD BUNGALOW AND PARKING. LOCK UP GARAGES ADJACENT TO 55 NEWTON ROAD

The Principal Planning Officer submitted a report to the Committee. It was explained that one bungalow and 9 parking spaces would be provided as part of the development, representing a net increase of 4 spaces.

In response to questions, the Committee heard that 6 garages were previously occupied and had been relocated. Gary Owens, Project Manager for NPH, confirmed that consultation included letters and telephone calls as well as visits to new garages. He further explained that there were several options for residents whose boundary walls were formed from garage walls, including replacing walls like for like, or retaining the backs of garages during demolition.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

(D) N/2019/0141 - DEMOLITION OF 5NO DOMESTIC GARAGES AND ERECTION OF 1NO NEW BUILD BUNGALOW AND 5NO CAR PARKING. LOCK UP GARAGES, SHADOWFAX DRIVE

The Development Management Team Leader submitted a report to the Committee. She noted that the number of parking spaces had been reduced from 7 to 5 following comments made by the Local Highway Authority. The Committee heard that several trees on site would be retained, protected by a condition.

In response to a question around neighbour concerns, specifically the development harming neighbours with existing medical conditions, Gary Owens explained that NPH could look to take steps to reduce any harm to those people, and that any action would depend on the type of medical condition a person had.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

(E) N/2019/0324 - DEMOLITION OF 16NO DOMESTIC LOCK UP GARAGES AND ERECTION OF 2NO DWELLINGS AND PROVISION OF PARKING AREA. GARAGE 1 LOCK UP GARAGES, PENDLE ROAD

The Development Management Team Leader submitted a report to the Committee. Members' attention as drawn to the addendum which contained an additional objection to the application. The Committee heard that the application sought approval for the demolition of 16 garages to allow for the construction of 2 dwellings and 22 parking spaces. It was explained that the original application was for 3 properties. It was further explained that the scrub hedges lining part of the site could have been removed at any time.

In response to a question, the Committee were informed that with the additional properties, surveillance in the area would increase also.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

(F) N/2019/0337 - ERECTION OF 2 NEW DWELLINGS. LOCK UP GARAGES, CROFTMEADOW COURT

The Principal Planning Officer submitted a report to the Committee. Members' attention was drawn to the addendum which contained further representations from the Local Highway Authority. The Committee were informed that a couple of trees on site would be removed and that 9 parking spaces would be created as part of the development.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the conditions and reasons as set out in the report.

(G) N/2019/0387 - DEMOLITION OF 18NO DOMESTIC LOCK UP GARAGES AND CONSTRUCTION OF 2NO NEW BUILD UNITS. LOCK UP GARAGES, CARDIGAN CLOSE

The Principal Planning Officer submitted a report to the Committee. Members' attention was drawn to the addendum which contained an additional objection and further representations from the Local Highway Authority, also additional and amended Conditions. The Committee heard that the application sought approval for 2 semi-detached bungalows and associated parking.

Members discussed the report.

RESOLVED:

That the application be **APPROVED** subject to the reasons and conditions within the report, with **amended Condition 2** and **additional Condition 10** in the addendum.

The meeting concluded at 7:25 pm

Directorate: Regeneration, Enterprise and Planning

Head of Planning: Peter Baguley



List of Appeals and Determinations – 2nd July 2019

Written Reps Procedure

Application No.	DEL/PC	Description	Decision
N/2017/1436 APP/V2825/W/18/3205543	DEL	Variation of Conditions 4 and 5 of Planning Permission N/2011/1222 (Variation of conditions of Planning Permission N/2011/0627) to extend hours of opening at Borjia Restaurant, Castilian Street	AWAITED
N/2018/0500 APP/V2825/W/18/3217452	DEL	Variation of condition 3 of N/2017/0998 (Change of use from Dwelling House (Use Class C3) to House In Multiple Occupation (Use Class C4) for 3 occupants)) to allow the increase of occupants to 4 at 56 St Leonards Road	AWAITED
N/2018/0516 APP/V2825/W/18/3206303	DEL	Prior Notification of installation of solar powered telephone kiosk outside of 9-13 Drapery	DISMISSED
N/2018/0517 APP/V2825/W/18/3206306	DEL	Prior Notification of installation of solar powered telephone kiosk outside of 27 Drapery	DISMISSED
N/2018/0518 APP/V2825/W/18/3206310	DEL	Prior Notification of installation of solar powered telephone kiosk outside of 27 Market Square	ALLOWED
N/2018/0519 APP/V2825/W/18/3206313	DEL	Prior Notification of installation of solar powered telephone kiosk outside of 7 Mercers Row	DISMISSED
N/2018/0524 APP/V2825/W/18/3206316	DEL	Prior Notification of installation of solar powered telephone kiosk outside of Co-operative Bank, 59 Abington Street	ALLOWED
N/2018/0526 APP/V2825/W/18/3206317	DEL	Prior Notification of installation of solar powered telephone kiosk outside of Sharpes, 1 Abington Street	DISMISSED
N/2018/0835 APP/V2825/W/18/3219548	DEL	Addition of a rooftop extension to form two additional apartments at 20-22 St Giles Street	AWAITED
N/2018/0867 APP/V2825/W/18/3219101	PC	Change of Use from Dwellinghouse (Use Class C3) to House in Multiple Occupation (Use Class C4) for 4 occupants at 144 Southampton Road	AWAITED
N/2018/1125 APP/V2825/W/19/3222728	DEL	Demolition of 3no garages and erection of 2 storey one bedroom dwelling on Elizabeth Street (to the rear of 74 Lower Thrift Street)	AWAITED
N/2018/1318 APP/V2825/W/18/3219519	DEL	Retention of bay window in ground floor flat at 3 St Georges Place	AWAITED
N/2018/1414 APP/V2825/W/19/3220930	DEL	Conversion of single dwelling to 4no apartments at 96 Semilong Road	AWAITED
N/2018/1433 APP/V2825/W/19/3221540	PC	Change of Use from Dwellinghouse (Use Class C3) to House in Multiple Occupation (Use Class C4) for 4 occupants at 13 Whitworth Road	ALLOWED
N/2018/1499 APP/V2825/D/19/3223405	DEL	Proposed rear second floor dormer at 620 Wellingborough Road	AWAITED
N/2018/1500 APP/V2825/D/19/3225361	DEL	Dropped kerb and build driveway at 115 Booth Lane South	AWAITED
N/2018/1523 APP/V2825/D/19/3224574	DEL	Two storey extension with associated internal and external works (Re-submission of N/2018/0752) at 14 Camborne Close	DISMISSED
N/2018/1570 APP/V2825/W/19/3224302	DEL	Single storey rear extension to Day Centre at 123 Milton Street North	AWAITED
N/2018/1717 APP/V2825/W/19/3224666	DEL	Change of Use from Dwellinghouse (Use Class C3) to House in Multiple Occupation (Use Class C4) for 4 occupants at 161 Euston Road	AWAITED
N/2018/1721 APP/V2825/D/19/3225498	DEL	Loft conversion with rear dormer and balcony (Retrospective) at 58 Whitworth Road	AWAITED
N/2019/0009 APP/V2825/D/19/3224428	DEL	Remove part of boundary wall and replace and reposition with 1.8m high fence of the same height at 27 Ashpole Spinney	DISMISSED
N/2019/0062 APP/V2825/D/19/3225451	DEL	Addition of parapet walls to existing extension (approved under Planning Permission N/2016/1078) (Retrospective) at 78 Lutterworth Road	AWAITED
N/2019/0274 APP/V2825/W/19/3228319	DEL	Single storey rear extension to Day Centre (Resubmission of N/2018/1570) at 123 Milton Street North	AWAITED

Public Inquiry

None

Hearings			
		None	
Enforcement Appeals			
		None	
Tree Preservation Order (TPO) Appeals			
		None	

The Address for Planning Appeals is:

Mr Brian Rowe, Room 301, The Planning Inspectorate, Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN.

Appeal decisions can be viewed at - <https://acp.planninginspectorate.gov.uk>

Local Government (Access to Information) Act 1985

Background Papers

The Appeal Papers for the appeals listed

Author and Contact Officer:

Mrs Rita Bovey, Development Manager

Telephone 01604 837237

Planning and Regeneration

The Guildhall, St Giles Square,

Northampton, NN1 1DE



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

PURPOSE: To consider the review of the Local Requirements for the Validation of Planning Applications

REFERRED BY: Head of Planning
REASON: Committee Decision under the Scheme of Delegation

1. RECOMMENDATION

- 1.1 That Members **APPROVE** the revised draft Local Validation List appended at Annex A.

2 BACKGROUND

- 2.1 In July 2017, the Planning Committee approved and subsequently adopted by the Council in August 2017 the Local Validation Requirements in accordance with planning legislation. This sets out what information, over and above the national requirements, is necessary to accompany a planning application before it is registered as valid.
- 2.2 The key purpose of stipulating what a planning application must comprise is to ensure its validity so that Local Planning Authorities (LPAs) have 'up front' the information that is essential for a sound, timely and confident decision. It also means that statutory consultees and other third parties who look at and comment on applications can clearly understand the development for which permission is being sought, and what the impacts (both positive and negative) are likely to be.
- 2.3 The Town and Country Planning (Development Management Procedure) (England) Order 2015 and the National Planning Practice Guidance (NPPG) state that LPAs should have a list of local requirements that is no more than two years old and that the list should be reviewed every two years. Consequently the requirements adopted in August 2017 now need to be reviewed again to ensure that the authority has valid requirements in place.
- 2.4 The NPPG also sets out the process by which this review should be carried out. In the first place the existing list should be reviewed to ensure it includes up to date statutory advice and guidance as well as policy changes and follows current best practice. There should then be a period of consultation on the proposed changes. The final stage is to finalise and publish the revised list.

3. REVIEW PROCESS

- 3.1 The Requirements adopted in 2017 have again been reviewed by Officers and various changes have been made to incorporate the latest advice and guidance from Government as well as legislation changes and current best practice. These changes were incorporated into the Draft Local Validation Requirements which were subject to a consultation for eight weeks during March and April 2019.
- 3.2 The consultation took the form of a newspaper advertisement to announce the changes to the wider public and to invite comment. There was also a page on the Council's web site dedicated to this matter and again inviting comment. Alongside this there was consultation with statutory consultees and with regular users of the Planning Service over the last two years.

4. THE REVISED DOCUMENT

- 4.1 The updated Validation Requirements document now proposed represents only minor changes, providing more clarity on certain points and removing unnecessary or duplicated requirements.
- 4.2 The document sets out under each application type, not only the list of documents required but also the full detail of what each document or plan must include.
- 4.3 As regards the content of the requirements, this has been updated to include changes in legislation and experience in dealing with applications, for example by removing unduly onerous requirements such as the submission of a CIL (Community Infrastructure Levy) form for Prior Notification larger householder extensions, as well as taking into account changes suggested by internal and external consultees, as discussed below.
- 4.4 The document has been set out to include the national as well as the local requirements. Although the national requirements would apply in any event, it is considered that this format will mean that applicants only need to refer to one document when making a planning application to Northampton Borough Council.

5. CONSULTATION RESPONSES

- 5.1 The comments which were received in response to the external consultation exercise are summarised below together with the action taken in respect of whether it was considered appropriate to revise the document to take account of these comments.

- **Environment Agency** – Request that further clarification and links to further information is provided in respect of Flood Risk Assessments. Note that contamination assessment is not a requirement of the Environment Agency, for a change of use.

In response to this, the further clarification in respect of flood risk has been incorporated into the document. In respect of contamination assessment for change of use, it can be noted that this is a requirement of other consultees.

- **Wildlife Trust** – Request that Biodiversity Assessments are also required for domestic extensions and outbuildings, and for prior notification of demolition, to protect bats and barn owl nests. Also request amendments to the definition of Biodiversity Assessment.

In response, it is considered that it would be unduly onerous to include a requirement for a biodiversity assessment for domestic extensions and outbuildings, particularly as there can be no requirement for this in smaller versions of such developments, which benefit from permitted development. In respect of prior notification of demolition, this can be incorporated into the required Method Statement and could be requested. In all cases, bats and roosting birds, are protected by other legislation.

The wording of the definition of Biodiversity Assessment has been amended in accordance with the input from the Wildlife Trust.

- **Highways England** – The wording of the Transport Assessment section largely covers what would be expected from the applicants in their Transport Assessment. However, applicants have sometimes been found to be unaware of suitable advice. Therefore recommend an additional sentence.

The requested sentence has been added in edited form.

- **Great Houghton Parish Council** – The parish council supports the draft review and welcomes the inclusion of 'North Point' and 'Metric Scale Bar' in plans, maps and elevations. The council also welcomes the inclusion of written Heritage Impact Assessment Reports and seeks assurance that any such assessments having adverse heritage impact will debar a plan from being approved.
- **Forestry Commission** – Comments provide information on changes to tree protection legislation but do not seek amendments or additions to the validation requirements.
- **Historic England** – Pleased to see that the historic environment has been included as a key consideration by the requirement for a Heritage Impact Assessment for most applications within a Conservation Area and/ or affecting a listed building. Also support the addition of these requirements when they affect the setting of a listed building.
- **Network Rail** – Transport Assessments should consider the potential for increased footfall from developments to impact stations, as well as vehicle parking / cycle storage at stations. The increased impact on level crossings should be considered including increase in volume of users and change in the character of users.

In response, it is considered that whilst these will be important points to be considered in respect of certain applications, this would not apply in all cases and it is not considered necessary to be so prescriptive as to the detail of the assessment at validation stage.

- **Sport England** – Request specific information to be submitted where the proposal would result in the loss of sports fields.

In response, the requirement for this specific information has not been included as in practice proposals resulting in the loss of sports fields are rare and in such cases the necessary information can still be required on a case

by case basis. This is the approach which has been taken on previous updates of the Local Validation Requirements.

- **County Archaeological Advisor** – Suggests alternative wording to the definition of Archaeological Assessment and that the requirement for such assessments should be changed from “Areas designated in the Development Plan as of archaeological significance” to “applications with the potential to impact on Heritage Assets”, with a definition of Heritage Assets provided. Suggest also that an archaeological assessment is not required for applications for plant, equipment and machinery but should be required for Listed Building Consent applications and Prior Notification of Larger Home Extensions. Also point out that Scheduled Ancient Monuments are now referred to as Scheduled Monuments.

In response to this, some of the wording suggested has been added to the definition of Archaeological Assessment as this provided additional clarity. The reference to the development plan has been retained, however, as this is considered to provide more clarity than the somewhat vague phrase “applications with the potential to impact on Heritage Assets”, even if “Heritage Assets” is defined.

In respect of application types, it is considered that an Archaeological Assessment could potentially be required for Plant and Machinery applications and therefore this has been retained. In respect of Listed Building Consent, such an assessment would only be likely to be necessary where planning permission was also required, in such cases the requirement is included in the validation requirements for the associated planning application. In respect of Prior Notification of Larger Home Extensions, the archeological impact could not be considered in the determination of such an application, therefore there would be no justification for requiring an Archaeological Assessment.

- **Local Planning Agent** – Additional information should not be required in respect of Larger Home Extensions as the legislation is intended to simplify the process. The Council has no right to ask for additional information.

In response to this, it is considered that the additional information required for such applications is necessary and will aid understanding of the proposal for neighbouring occupiers. It is within the scope of Local Validation Requirements to require additional information for any type of Planning Application, which includes Prior Notifications.

- **Local Tree Surgeon** – The definition of Arboricultural Assessment should include “Details of access facilitation pruning”, as pruning work will often be necessary to allow a development to be constructed, even if trees would not be affected by the finished development.

In response, in consultation with the Council’s Arboricultural Officer, it is considered appropriate to add such a requirement, which will enable better understanding of the impact of development.

6. CONCLUSION

- 6.1 Members are recommended to approve the amended draft Local Validation Requirements which will provide clarity for applicants as to what to include with

new planning applications and also enable the Council to comply with the requirement to have an up to date Local Validation Requirements list.

7. BACKGROUND PAPERS

- 7.1 National Planning Practice Guidance and the Town and Country Planning (Development Management Procedure) (England) Order 2015.

8. LEGAL IMPLICATIONS

- 8.1 Without up to date adopted Local Validation Requirements the Council has no basis upon which to require the submission of information not specified by the National Validation Requirements when validating planning applications.

9. SUMMARY AND LINKS TO CORPORATE PLAN

- 9.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.

NORTHAMPTON BOROUGH COUNCIL

LOCAL VALIDATION REQUIREMENTS

COMMITTEE DRAFT 2019

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Introduction

The purpose of validation requirements is to achieve consistency in the decision making process and to make the process of applying for planning permission more straight forward for developers, by providing greater clarity as to the information that needs to be submitted with an application.

The validation of a planning application is essentially a checking process to ensure that the information required to assess a planning application has been submitted at the start of the process. It is important that the necessary information is submitted and the information submitted is accurate, otherwise consideration of the application would be subject to unnecessary delay. Without the required, accurate, information an application will not be validated.

This document is intended to provide a useable manual to assist developers in preparing applications for planning permission and other planning consents, by providing clear information as to what information should be submitted with each application type. In order to do this, the guide has been broken down by application type, with clear reference to the documents/information that is required for each application type. Where items are listed in **Bold** these are defined further in the glossary at the end of the document.

This document has been arranged to allow quick and easy access to the information requirements for the type of application you are submitting.

Developers are encouraged to discuss their proposals with the Council prior to submission. The benefit of this is that additional advice can be provided as to the various criteria described within this document.

If you require further advice on validation requirements, please telephone the Council on 0300 330 7000 or email planning@northampton.gov.uk.

1. Domestic extensions and outbuildings

What is needed	Details	When required
Completed application form, ownership certificate, CIL form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties. All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Block Plan	<ul style="list-style-type: none"> Identify the position of any buildings (existing and proposed) together with proposed extensions, on the site and adjoining properties Drawn to a scale of 1:500 Including a North point Including a metric scale bar 	All applications
Existing Elevations	<ul style="list-style-type: none"> Show all relevant elevations and drawn to a scale of 1:50 or 1:100 Including a metric scale bar 	All applications
Proposed Elevations	<ul style="list-style-type: none"> Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ Including a metric scale bar 	All applications
Existing Floor Plans	<ul style="list-style-type: none"> Drawn to a scale of 1:50 or 1:100 and showing all storeys that are to be affected 	All applications

	<p>by the proposed development. The floor plans should reflect the building; for instance show all door and window apertures</p> <ul style="list-style-type: none"> • Including a metric scale bar 	
Proposed Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and should demonstrate the uses of each room and in the case of extensions, show the complete floor of the building, including the development • Including a metric scale bar 	All applications
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing and proposed buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Arboricultural Assessment	<ul style="list-style-type: none"> • This assessment should include details of the accurate position of all the trees (including canopy spread and root area) and species • Health and vigour and amenity value, whilst specifying whether they are to be proposed to be retained or removed and why 	When works will take place within Root Protection Areas /canopy or result in the removal of trees or hedges or when the proposed development may have an impact on trees within the

	<ul style="list-style-type: none"> • Tree protection measures during the construction process and life of the development 	development site or on adjacent land and/or when trees may adversely affect a proposed development
Design and Access Statement	A document explaining the design and how access will be provided, including access for those with disabilities. This should include a written description and justification of the planning application.	All development within a Conservation Area where the floor space to be created would exceed 100 square metres
Heritage Impact Assessment	A written statement that assesses the significance of any heritage asset that may be impacted by the development. This includes a description of the building or buildings affected by the proposal (including any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.	Applications within a Conservation Area and/or affecting a Listed Building or its setting
Flood Risk Assessment	A statement that considers the risk of flooding as a result of the development, alongside the potential flood risk for the site. This should include an assessment of the impacts of climate change, the potential adverse and beneficial effects of flood risk management, the vulnerability of those that would occupy and use the development, the impacts of differing types of flooding and identify flood levels with climate change allowances, floor levels of the site, and if lower than flood levels, resilience and resistance/recovery measures, alongside evacuation plans/safe escape routes. The need for such assessments is governed by the size and description of the proposed development and the location of the site relative to its flood risk potential. See the Glossary for links to further guidance and information.	In Flood Zones 2 or 3.

2. New doors and windows to domestic properties

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications

Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	All applications
Existing Elevations	<ul style="list-style-type: none"> • Show all relevant elevations and drawn to a scale of 1:50 or 1:100 • Including a metric scale bar 	All applications
Proposed Elevations	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ • Including a metric scale bar 	All applications
Existing Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and showing all storeys that are to be affected by the proposed development. The floor plans should reflect the building; for instance show all door and window apertures • Including a metric scale bar 	All applications
Proposed Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and should demonstrate the uses of each room and in the case of extensions, show the complete floor of the building, including the development • Including a metric scale bar 	All applications
Design and Access Statement	A document explaining the design and how access will be provided, including access for those with disabilities. This should include a	All development within a Conservation Area where the floor space to

	written description and justification of the planning application.	be created would exceed 100 square metres
Heritage Impact Assessment	A written statement that assesses the significance of any heritage asset that may be impacted by the development. This includes a description of the building or buildings affected by the proposal (including any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.	Applications within a Conservation Area and/or affecting a Listed Building or its setting

3. New fences/walls/boundary treatments

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Block Plan	<ul style="list-style-type: none"> Identify the position of any buildings on the site and adjoining properties together with the position of the proposed boundary treatment Drawn at a scale of 1:500 	All applications

	<ul style="list-style-type: none"> • Including a North point • Including a metric scale bar 	
Proposed Elevations	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ • Including a metric scale bar 	All applications
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing and proposed buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Arboricultural Assessment	<ul style="list-style-type: none"> • This assessment should include details of the accurate position of all the trees (including canopy spread and root area) and species • Health and vigour and amenity value, whilst specifying whether they are to be proposed to be retained or removed and why. • Details of any pruning required to facilitate access or for other reasons. • Tree protection measures during the construction process and life of the 	When works will take place within Root Protection Areas /canopy or result in the removal of trees or hedges.

	development	
Heritage Impact Assessment	A written statement that assesses the significance of any heritage asset that may be impacted by the development. This includes a description of the building or buildings affected by the proposal (including any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.	Applications within a Conservation Area and/or affecting a Listed Building or its setting

4. Driveways/new vehicular accesses

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Block Plan	<ul style="list-style-type: none"> Identify the position of any buildings on the site and adjoining properties together with the position of the proposed vehicular access Drawn to a scale of 1:500 	All applications
Existing Site Plan	<ul style="list-style-type: none"> Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, 	All applications

	<p>hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees and the Root Protection Area of such trees, in addition to all parking spaces.</p> <ul style="list-style-type: none"> • Including a North point • Including a metric scale bar 	
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing and proposed buildings, structures, hardstandings and boundary treatments, clearly indicating the position of the proposed crossover. This plan should also include any other features of note, such as existing trees and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Arboricultural Assessment	<ul style="list-style-type: none"> • This assessment should include details of the accurate position of all the trees (including canopy spread and root area) and species • Health and vigour and amenity value, whilst specifying whether they are to be proposed to be retained or removed and why. • Details of any pruning required to facilitate access or for other reasons. • Tree protection measures during the construction process and life of the development 	When works will take place within Root Protection Areas /canopy or result in the removal of trees or hedges.
Heritage Impact Assessment	<p>A written statement that assesses the significance of any heritage asset that may be impacted by the development. This includes a description of the building or buildings affected by the proposal (including any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.</p>	Applications within a Conservation Area and/or affecting a Listed Building or its setting

5. **Non domestic buildings and extensions**
Change of use involving external alterations to buildings

What is needed	Details	When required
Completed application form, ownership certificate CIL form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Block Plan	<ul style="list-style-type: none"> Identify the position of any buildings on the site and adjoining properties Including a North point Including a metric scale bar Drawn to a scale of 1:500 	All applications
Existing Elevations	<ul style="list-style-type: none"> Show all relevant elevations and drawn to a scale of 1:50 or 1:100 Including a metric scale bar 	All applications involving external alterations
Proposed Elevations	<ul style="list-style-type: none"> Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ Including a metric scale bar 	All applications involving external alterations

Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing and proposed buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Design and Access Statement	<ul style="list-style-type: none"> • Explains the design thinking behind a planning application, and how access will be provided, including access for disabled people. This should include a written description and justification of the planning application. • Photos, maps and drawings may be needed to further illustrate the points made. 	<p>Major Applications</p> <p>All development within a Conservation Area where the floor space to be created would exceed 100 square metres</p> <p>Applications relating to alterations to Listed Buildings</p>
Planning Statement	Identifying the scale and nature of the proposal, the context and need for a proposed development and may include an assessment of how the proposed development accords with relevant national, regional and local planning policies. It may include details of consultations with the local planning authority and wider community/statutory consultees undertaken prior to submission.	All applications
Community Involvement Submission	A document summarising how the views of the local community have been sought and	Site of more than 3 hectares

	taken into account in the formulation of development proposals.	Development of more than 1500 square metres
Arboricultural Assessment	<ul style="list-style-type: none"> • This assessment should include details of the accurate position of all the trees (including canopy spread and root area) and species • Health and vigour and amenity value, whilst specifying whether they are to be proposed to be retained or removed and why. • Details of any pruning required to facilitate access or for other reasons. • Tree protection measures during the construction process and life of the development 	When works will take place within Root Protection Areas /canopy or result in the removal of trees or hedges.
Biodiversity / Ecology Assessment	<ul style="list-style-type: none"> • The survey should be undertaken within the last available season before the submission of the application and must have been conducted by an appropriately qualified person to industry guidelines and standards. The survey must record which designated sites, protected species, and species or habitats of principal importance are present on or around the site; identify the extent/area/length present; and map their distribution. • The assessment should describe all the potential impacts of the development which are likely to harm designated sites, protected species and species or habitats of principle importance. This should include direct and indirect impacts, for example increased disturbance because of recreation. Using the results of the surveys the assessment must demonstrate how adverse effects will be avoided wherever possible; how unavoidable impacts will be mitigated and how impacts that cannot be avoided or mitigated will be compensated. It should also show how a net gain in biodiversity would be achieved. The use of a recognised biodiversity metric to demonstrate net gain is encouraged. 	<p>Major Applications</p> <p>Development involving land that has not been previously developed</p>
Archaeological Assessment	Include a study of the recorded history and archaeology of a site and be undertaken to	Development within the curtilage of a Listed

	<p>evaluate its archaeological potential, and in order to determine the need for and nature of any archaeological work that may be required in response to development proposals. Applicants should make an initial assessment of whether a site is known or thought likely to contain archaeological remains at an early stage. Information on known archaeological sites can be obtained from the Historic Environment Record (as maintained by Northamptonshire County Council).</p>	<p>Building or Scheduled Ancient Monument</p> <p>Area designated in the Development Plan as of archaeological significance.</p>
<p>Heritage Impact Assessment</p>	<p>A written statement that assesses the significance of any heritage asset that may be impacted by the development. This includes a description of the building or buildings affected by the proposal (including any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.</p>	<p>Applications within a Conservation Area and/or affecting a Listed Building or its setting</p>
<p>Transport Assessment</p>	<ul style="list-style-type: none"> • A calculation of the likely number of trips to and from the development by each transport mode, throughout the day and a determination of which routes will be used to access the site • Identify what measures may be required to deal with the predicted transport impacts and to improve accessibility and safety, especially for pedestrians, cyclists and public transport users • Transport Assessments should be carried out and reported as described in the Department for Transport's 'Guidance on Transport Assessment (GTA)' document. In addition, the Ministry of Housing, Communities and Local Government also provide guidance on preparing Transport Assessments. • Where assessments are required to understand the impact of the proposal on the Strategic Road Network in the area, assessments should also be undertaken in 	<p>Major Applications</p>

	line with DfT's Circular 02/2013 (The Strategic Road Network and the Delivery of Sustainable Development)	
Travel Plan	<ul style="list-style-type: none"> Identify a series of measures aimed at promoting more environmentally friendly travel choices aiming to reduce car journeys Should include details of how the success of the plan will be monitored. 	Major Applications
Noise Impact Assessment	Assess the likelihood of deterioration of amenity at nearby premises due to noise and vibration. The report should describe any equipment to be installed with noise emission data.	<p>Development involving uses falling with Classes B2 and B8 and Major Applications falling within Classes A1 to A5 of the Use Classes Order</p> <p>Wind turbines, wind farms</p> <p>Where music is to be played externally</p> <p>Motor sport activities.</p>
Odour Attenuation Plan	Assess the likelihood of deterioration of amenity at nearby premises due to emissions to the atmosphere, together with information on any proposed abatement system.	<p>Developments involving any of the following:</p> <p>Cooking of food</p> <p>Paint spraying or coating processes</p> <p>The installation of a furnace / incinerator</p> <p>Composting.</p> <p>Storage and handling of dusty materials.</p> <p>Manufacture of perfumes, flavourings etc.</p> <p>Slaughterhouses</p> <p>The accommodation of animals</p>
Marketing Information	Details showing how long a building has been vacant, how the property has been marketed and any interest from prospective occupiers	Town Centre Uses when proposed in an out of Centre location.
Sequential Assessment	Details whether any suitable in Centre sites are available to accommodate the proposed development	When more than 1000m ² of floorspace of a Town Centre Use is proposed in an out of Centre location

Impact Assessment	Should assess impact of out of Centre proposals on the established Centres in terms of diversion of trade	When more than 1000m ² of floorspace of A Town Centre Use is proposed in an out of Centre location
Landscape and Visual Impact Assessment	The assessment will highlight the areas and viewpoints from which the proposed development would be visible and the impact on the landscape.	Buildings of more than 15m in height
Flood Risk Assessment / Drainage Strategy	<p>A statement that considers the risk of flooding as a result of the development, alongside the potential flood risk for the site. This should include an assessment of the impacts of climate change, the potential adverse and beneficial effects of flood risk management, the vulnerability of those that would occupy and use the development, the impacts of differing types of flooding and identify flood levels with climate change allowances, floor levels of the site, and if lower than flood levels, resilience and resistance/recovery measures, alongside evacuation plans/safe escape routes.</p> <p>The need for such assessments is governed by the size and description of the proposed development and the location of the site relative to its flood risk potential.</p> <p>See the Glossary for links to further guidance and information.</p> <p>A drainage assessment should identify opportunities to reduce the probability and consequences of flooding.</p>	<p>Within Flood Zone 1 – Sites over 1 hectare or less than this but which could be affected by sources of flooding other than rivers or which have critical drainage problems as notified to the Environment Agency</p> <p>Developments within Flood Zone 2 or 3.</p> <p>For all major developments</p>
Contamination Assessment	This should establish previous uses of the land, or adjacent sites, and to identify potential sources and scale of contamination, including that occurring naturally, receptors that could be risks to human health, surface or grounds waters, buildings and ecology. The assessment should also include an assessment of any remedial options and a proposed course of action.	<p>For all Major Applications</p> <p>For development on land that is, or was most recently, used for commercial or industrial purposes, for schools</p>

Air Quality Assessment	<ul style="list-style-type: none"> Assesses the likelihood of a deterioration of amenity at nearby premises due to air quality issues. The report should include an assessment of the likely air quality impacts and will require air quality dispersion modelling supported by local air quality monitoring data. <p>This data is required for verifying the modelling study and must be collected over a sufficient period of time</p>	Major Applications within Air Quality Management Areas
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6. Change of Use- Non Residential (no external alterations)

What is needed	Details	When required
Completed application form, ownership certificate CIL form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Block Plan	<ul style="list-style-type: none"> Identify the position of any buildings on the site and adjoining properties Drawn to a scale of 1:500 Including a North point 	All applications

	<ul style="list-style-type: none"> • Including a metric scale bar 	
Planning Statement	Identifying the scale and nature of the proposal, the context and need for a proposed development and may include an assessment of how the proposed development accords with relevant national, regional and local planning policies. It may include details of consultations with the local planning authority and wider community/statutory consultees undertaken prior to submission.	All applications
Transport Assessment	<ul style="list-style-type: none"> • A calculation of the likely number of trips to and from the development by each transport mode, throughout the day and a determination of which routes will be used to access the site • Identify what measures may be required to deal with the predicted transport impacts and to improve accessibility and safety, especially for pedestrians, cyclists and public transport users • Transport Assessments should be carried out and reported as described in the Department for Transport's 'Guidance on Transport Assessment (GTA)' document. In addition, the Ministry of Housing, Communities and Local Government also provide guidance on preparing Transport Assessments. • Where assessments are required to understand the impact of the proposal on the Strategic Road Network in the area, assessments should also be undertaken in line with DfT's Circular 02/2013 (The Strategic Road Network and the Delivery of Sustainable Development) 	Major Applications
Travel Plan	<ul style="list-style-type: none"> • Identify a series of measures aimed at promoting more environmentally friendly travel choices aiming to reduce car journeys • Should include details of how the success of the plan will be monitored. 	Major Applications
Noise Impact Assessment	Assess the likelihood of deterioration of amenity at nearby premises due to noise and vibration. The report should describe any equipment to be installed with noise emission data.	Development involving uses falling with Classes B2 and B8 and Major Applications falling within Classes A1 to A5

		<p>of the Use Classes Order</p> <p>Wind turbines, wind farms</p> <p>Where music is to be played externally</p> <p>Motor sport activities.</p>
Odour Attenuation Plan	Assess the likelihood of deterioration of amenity at nearby premises due to emissions to the atmosphere, together with information on any proposed abatement system.	<p>Developments involving any of the following:</p> <p>Cooking of food</p> <p>Paint spraying or coating processes</p> <p>The installation of a furnace / incinerator</p> <p>Composting.</p> <p>Storage and handling of dusty materials.</p> <p>Manufacture of perfumes, flavourings etc. Slaughterhouses</p> <p>The accommodation of animals</p>
Marketing Information	Details showing how long a building has been vacant, how the property has been marketed and any interest from prospective occupiers	Town Centre Uses when proposed in an out of Centre location
Sequential Assessment	Details whether any suitable in Centre sites are available to accommodate the proposed development	When more than 1000m ² of floorspace of a Town Centre Use is proposed in an out of Centre location
Impact Assessment	Should assess impact of out of Centre proposals on the established Centres in terms of diversion of trade	When more than 1000m ² of floorspace of a Town Centre Use is proposed in an out of Centre location`
Flood Risk Assessment / Drainage Strategy	<p>A statement that considers the risk of flooding arising from the development, in addition to the development being flooded. This should include an assessment of the impacts of climate change, the potential adverse and beneficial effects of flood risk management, the vulnerability of those that would occupy and use the development, the impacts of differing types of flooding and identify flood reduction measures.</p> <p>The need for such assessments is governed by the size and description of the proposed</p>	<p>Within Flood Zone 1 – Sites over 1 hectare or less than this but which could be affected by sources of flooding other than rivers or which have critical drainage problems as notified to the Environment Agency</p> <p>Developments within Flood Zone 2 or 3.</p>

	<p>development and the location of the site relative to its flood risk potential.</p> <p>See the Glossary for links to further guidance and information.</p> <p>A drainage assessment should identify opportunities to reduce the probability and consequences of flooding.</p>	<p>For all Major Applications</p>
Contamination Assessment	<p>This should establish previous uses of the land, or adjacent sites, and to identify potential sources and scale of contamination, including that occurring naturally, receptors that could be risks to human health, surface or groundwaters, buildings and ecology. The assessment should also include an assessment of any remedial options and a proposed course of action.</p>	<p>For all Major Applications</p> <p>For development on land that is, or was most recently, used for commercial or industrial purposes, for schools</p>
Air Quality Assessment	<ul style="list-style-type: none"> Assesses the likelihood of a deterioration of amenity at nearby premises due to air quality issues. The report should include an assessment of the likely air quality impacts and will require air quality dispersion modelling supported by local air quality monitoring data. <p>This data is required for verifying the modelling study and must be collected over a sufficient period of time</p>	<p>Major Applications within Air Quality Management Areas</p>

7. **New dwellings/Residential Uses**
Changes of use to dwellings/Residential Uses

What is needed	Details	When required
Completed application form, ownership certificate CIL form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. 	All applications

	<ul style="list-style-type: none"> • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	
Block Plan	<ul style="list-style-type: none"> • Identify the position of any buildings on the site and adjoining properties • Drawn to a scale of 1:500 • Including a North point • Including a metric scale bar 	All applications
Existing Elevations	<ul style="list-style-type: none"> • Show all relevant elevations and drawn to a scale of 1:50 or 1:100 • Including a metric scale bar 	All applications involving external alterations
Proposed Elevations	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ • Including a metric scale bar 	All applications involving external alterations
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing and proposed buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and 	All applications

	<p>adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces.</p> <ul style="list-style-type: none"> • Including a North point • Including a metric scale bar 	
Design and Access Statement	<ul style="list-style-type: none"> • Explains the design thinking behind a planning application, and how access will be provided, including access for disabled people. This should include a written description and justification of the planning application. • Photos, maps and drawings may be needed to further illustrate the points made. 	<p>Major Applications</p> <p>All development within a Conservation Area for the provision of one or more dwellinghouses or where the floor space to be created would exceed 100 square metres</p> <p>Applications relating to alterations to Listed Buildings</p>
Community Involvement Submission	A document summarising how the views of the local community have been sought and taken into account in the formulation of development proposals.	<p>Site of more than 3 hectares</p> <p>Development of more than 100 dwellings</p>
Arboricultural Assessment	<ul style="list-style-type: none"> • This assessment should include Details of the accurate position of all the trees (including canopy spread and root area) and species • Health and vigour and amenity value, whilst specifying whether they are to be proposed to be retained or removed and why. • Details of any pruning required to facilitate access or for other reasons. • Tree protection measures during the construction process and life of the development 	When works will take place within Root Protection Areas /canopy or result in the removal of trees or hedges.
Planning Statement	Identifying the scale and nature of the proposal, the context and need for a proposed development and may include an assessment of how the proposed development accords with relevant national, regional and local planning policies. It may include details of consultations with the local planning authority and wider community/statutory consultees undertaken prior to submission.	All applications

<p>Biodiversity / Ecology Assessment</p>	<ul style="list-style-type: none"> • The survey should be undertaken within the last available season before the submission of the application and must have been conducted by an appropriately qualified person to industry guidelines and standards. The survey must record which designated sites, protected species, and species or habitats of principal importance are present on or around the site; identify the extent/area/length present; and map their distribution. • The assessment should describe all the potential impacts of the development which are likely to harm designated sites, protected species and species or habitats of principle importance. This should include direct and indirect impacts, for example increased disturbance because of recreation. Using the results of the surveys the assessment must demonstrate how adverse effects will be avoided wherever possible; how unavoidable impacts will be mitigated and how impacts that cannot be avoided or mitigated will be compensated. It should also show how a net gain in biodiversity would be achieved. The use of a recognised biodiversity metric to demonstrate net gain is encouraged. 	<p>Major Applications</p> <p>Development involving land that has not been previously developed</p>
<p>Archaeological Assessment</p>	<p>Include a study of the recorded history and archaeology of a site and be undertaken to evaluate its archaeological potential, and in order to determine the need for and nature of any archaeological work that may be required in response to development proposals. Applicants should make an initial assessment of whether a site is known or thought likely to contain archaeological remains at an early stage. Information on known archaeological sites can be obtained from the Historic Environment Record (as maintained by Northamptonshire County Council).</p>	<p>Development within the curtilage of a Listed Building or Scheduled Ancient Monument</p> <p>Area designated in the Development Plan as of archaeological significance.</p>
<p>Heritage Impact Assessment</p>	<p>A written statement that assesses the significance of any heritage asset that may be impacted by the development. This includes a description of the building or buildings affected by the proposal (including any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should</p>	<p>Applications within a Conservation Area and/or affecting a Listed Building or its setting</p>

	also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.	
Air Quality Assessment	<ul style="list-style-type: none"> Assesses the likelihood of a deterioration of amenity at nearby premises due to air quality issues. The report should include an assessment of the likely air quality impacts and will require air quality dispersion modelling supported by local air quality monitoring data. This data is required for verifying the modelling study and must be collected over a sufficient period of time 	When in excess of 10 dwellings and proposed within Air Quality Management Areas
Noise Level Assessment	An assessment of the existing noise levels within the vicinity of the site; for example, those generated from nearby commercial premises, roads or railways.	When residential accommodation is proposed within Allocated Commercial Areas or adjacent to Major Roads and railway lines
Transport Assessment	<ul style="list-style-type: none"> A calculation of the likely number of trips to and from the development by each transport mode, throughout the day and a determination of which routes will be used to access the site Identify what measures may be required to deal with the predicted transport impacts and to improve accessibility and safety, especially for pedestrians, cyclists and public transport users Transport Assessments should be carried out and reported as described in the Department for Transport's 'Guidance on Transport Assessment (GTA)' document. In addition, the Ministry of Housing, Communities and Local Government also provide guidance on preparing Transport Assessments. Where assessments are required to understand the impact of the proposal on the Strategic Road Network in the area, assessments should also be undertaken in line with DfT's Circular 02/2013 (The 	Major Applications

	<p>Strategic Road Network and the Delivery of Sustainable Development)</p> <ul style="list-style-type: none"> • 	
Travel Plan	<ul style="list-style-type: none"> • Identify a series of measures aimed at promoting more environmentally friendly travel choices aiming to reduce car journeys • Should include details of how the success of the plan will be monitored. 	Major Applications
Landscape and Visual Impact Assessment	The assessment will highlight the areas and viewpoints from which the proposed development would be visible and the impact on the landscape.	Buildings of more than 15m in height
Parking Beat Survey	An assessment of the availability of on street parking spaces within the street on which the application site is located and neighbouring streets.	Houses in Multiple Occupation, where less than one parking space per resident is proposed.
Flood Risk Assessment / Drainage Strategy	<p>A statement that considers the risk of flooding as a result of the development, alongside the potential flood risk for the site. This should include an assessment of the impacts of climate change, the potential adverse and beneficial effects of flood risk management, the vulnerability of those that would occupy and use the development, the impacts of differing types of flooding and identify flood levels with climate change allowances, floor levels of the site, and if lower than flood levels, resilience and resistance/recovery measures, alongside evacuation plans/safe escape routes.</p> <p>The need for such assessments is governed by the size and description of the proposed development and the location of the site relative to its flood risk potential.</p> <p>See the Glossary for links to further guidance and information.</p> <p>A drainage assessment should identify opportunities to reduce the probability and consequences of flooding.</p>	<p>Within Flood Zone 1 – Sites over 1 hectare or less than this but which could be affected by sources of flooding other than rivers or which have critical drainage problems as notified to the Environment Agency</p> <p>Developments within Flood Zone 2 or 3.</p> <p>For all Major Applications</p>
Contamination Assessment	This should establish previous uses of the land, or adjacent sites, and to identify potential sources and scale of contamination, including that occurring naturally, receptors that could be risks to human health, surface or grounds waters, buildings and ecology. The assessment	<p>For all Major Applications</p> <p>For development on land that is, or was most recently, used for</p>

	should also include an assessment of any remedial options and a proposed course of action.	commercial or industrial purposes
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8. Outline applications

What is needed	Details	When required
Completed application form, ownership certificate CIL form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Indicative parameters	Depending on which matters are to be reserved for future consideration indicative parameters covering the use of the site (such as identifying distinct areas for differing types of development); the amount of development (for instance, the number of units); layout; scale parameters (including upper and lower limits for the height, width and length of each building); and access points. Including a North point on plans and a metric scale bar on plans and elevations.	All applications
Air Quality Assessment	<ul style="list-style-type: none"> Assesses the likelihood of a deterioration of amenity at nearby premises due to air quality issues. The report should include an assessment of the likely air quality impacts and will require air quality dispersion modelling supported by local air quality monitoring 	When in excess of 10 dwellings and proposed within Air Quality Management Areas

	<p>data.</p> <ul style="list-style-type: none"> This data is required for verifying the modelling study and must be collected over a sufficient period of time 	
Archaeological Assessment	<p>Include a study of the recorded history and archaeology of a site and be undertaken to evaluate its archaeological potential, and in order to determine the need for and nature of any archaeological work that may be required in response to development proposals. Applicants should make an initial assessment of whether a site is known or thought likely to contain archaeological remains at an early stage. Information on known archaeological sites can be obtained from the Historic Environment Record (as maintained by Northamptonshire County Council).</p>	<p>Development within the curtilage of a Listed Building or Scheduled Ancient Monument</p> <p>Area designated in the Development Plan as of archaeological significance.</p>
Heritage Impact Assessment	<p>A written statement that assesses the significance of any heritage asset that may be impacted by the development. This includes a description of the building or buildings affected by the proposal (including any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.</p>	<p>Applications within a Conservation Area and/or affecting a Listed Building or its setting</p>
Biodiversity / Ecology Assessment	<ul style="list-style-type: none"> The survey should be undertaken within the last available season before the submission of the application and must have been conducted by an appropriately qualified person to industry guidelines and standards. The survey must record which designated sites, protected species, and species or habitats of principal importance are present on or around the site; identify the extent/area/length present; and map their distribution. The assessment should describe all the potential impacts of the development which are likely to harm designated sites, protected species and species or habitats of principle importance. This should include direct and indirect impacts, for example increased disturbance because of recreation. Using the results of the surveys the assessment must 	<p>Major Applications</p> <p>Development involving land that has not been previously developed</p>

	demonstrate how adverse effects will be avoided wherever possible; how unavoidable impacts will be mitigated and how impacts that cannot be avoided or mitigated will be compensated. It should also show how a net gain in biodiversity would be achieved. The use of a recognised biodiversity metric to demonstrate net gain is encouraged.	
Design and Access Statement	<ul style="list-style-type: none"> Explains the design thinking behind a planning application, and how access will be provided, including access for disabled people. This should include a written description and justification of the planning application. Photos, maps and drawings may be needed to further illustrate the points made. 	<p>Major Applications</p> <p>All development within a Conservation Area for the provision of one or more dwellinghouses or where the floor space to be created would exceed 100 square metres</p> <p>Applications relating to alterations to Listed Buildings</p>
Planning Statement	Identifying the scale and nature of the proposal, the context and need for a proposed development and may include an assessment of how the proposed development accords with relevant national, regional and local planning policies. It may include details of consultations with the local planning authority and wider community/statutory consultees undertaken prior to submission.	All applications
Community Involvement Submission	A document summarising how the views of the local community have been sought and taken into account in the formulation of development proposals.	<p>Site of more than 3 hectares</p> <p>Development of more than 1500 square metres</p> <p>More than 100 dwellings</p>
Transport Assessment	<ul style="list-style-type: none"> A calculation of the likely number of trips to and from the development by each transport mode, throughout the day and a determination of which routes will be used to access the site Identify what measures may be required to deal with the predicted transport impacts and to improve accessibility and safety, especially for pedestrians, cyclists and public 	Major Applications

	<p>transport users</p> <ul style="list-style-type: none"> • Transport Assessments should be carried out and reported as described in the Department for Transport's 'Guidance on Transport Assessment (GTA)' document. In addition, the Ministry of Housing, Communities and Local Government also provide guidance on preparing Transport Assessments. • Where assessments are required to understand the impact of the proposal on the Strategic Road Network in the area, assessments should also be undertaken in line with DfT's Circular 02/2013 (The Strategic Road Network and the Delivery of Sustainable Development) 	
Travel Plan	<ul style="list-style-type: none"> • Identify a series of measures aimed at promoting more environmentally friendly travel choices aiming to reduce car journeys • Should include details of how the success of the plan will be monitored. 	Major Applications
Noise Impact Assessment	Assess the likelihood of deterioration of amenity at nearby premises due to noise and vibration. Assess the likelihood of deterioration of amenity at nearby premises due to noise and vibration. The report should describe any equipment to be installed with noise emission data.	<p>Development involving uses falling with Classes B2 and B8 of the Use Classes Order</p> <p>Wind turbines, wind farms</p> <p>Where music is to be played externally</p> <p>Motor sport activities.</p>
Noise Level Assessment	An assessment of the existing noise levels within the vicinity of the site; for example, those generated from nearby commercial premises, roads or railways.	When residential accommodation is proposed within Allocated Commercial Areas or adjacent to Major Roads and railway lines
Odour Attenuation Plan	Assess the likelihood of deterioration of amenity at nearby premises due to emissions to the atmosphere, together with information on any proposed abatement system.	Developments involving any of the following: Cooking of food Paint spraying or coating processes The installation of a furnace / incinerator

		Composting. Storage and handling of dusty materials. Manufacture of perfumes, flavourings etc. Slaughterhouses The accommodation of animals
Marketing Information	Details showing how long a building has been vacant, how the property has been marketed and any interest from prospective occupiers	Town Centre Uses when proposed in an out of Centre location
Sequential Assessment	Details whether any suitable in Centre sites are available to accommodate the proposed development	When more than 1000m ² of floorspace of a Town Centre Use is proposed in an out of Centre location
Impact Assessment	Should assess impact of out of Centre proposals on the established Centres in terms of diversion of trade	When more than 1000m ² of floorspace of a Town Centre Use is proposed in an out of Centre location
Landscape and Visual Impact Assessment	The assessment will highlight the areas and viewpoints from which the proposed development would be visible and the impact on the landscape.	Buildings of more than 15m in height
Flood Risk Assessment / Drainage Strategy	<p>A statement that considers the risk of flooding as a result of the development, alongside the potential flood risk for the site. This should include an assessment of the impacts of climate change, the potential adverse and beneficial effects of flood risk management, the vulnerability of those that would occupy and use the development, the impacts of differing types of flooding and identify flood levels with climate change allowances, floor levels of the site, and if lower than flood levels, resilience and resistance/recovery measures, alongside evacuation plans/safe escape routes.</p> <p>The need for such assessments is governed by the size and description of the proposed development and the location of the site relative to its flood risk potential.</p> <p>See the Glossary for links to further guidance and information.</p> <p>A drainage assessment should identify opportunities to reduce the probability and consequences of flooding.</p>	<p>Within Flood Zone 1 – Sites over 1 hectare or less than this but which could be affected by sources of flooding other than rivers or which have critical drainage problems as notified to the Environment Agency</p> <p>Developments within Flood Zone 2 or 3.</p> <p>For all Major Applications</p>

Contamination Assessment	This should establish previous uses of the land, or adjacent sites, and to identify potential sources and scale of contamination. including that occurring naturally, receptors that could be risks to human health, surface or grounds waters, buildings and ecology. The assessment should also include an assessment of any remedial options and a proposed course of action.	For all Major Applications For development on land that is, or was most recently, used for commercial or industrial purposes, for Residential Uses and schools
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9. Floodlighting

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Block Plan	<ul style="list-style-type: none"> Identify the position of any buildings on the site and adjoining properties Drawn to a scale of 1:500 Including a North point Including a metric scale bar 	All applications
Proposed Elevations	<ul style="list-style-type: none"> Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should 	All applications

	<p>show the development in situ</p> <ul style="list-style-type: none"> • Including a metric scale bar 	
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees , both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing and proposed buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Lighting Assessment	An assessment carried out in accordance with CIE guidance or suitable equivalent and detail the level of illumination and glare that would emanate from a proposal, including identifying mitigation where appropriate	All applications
Arboricultural Assessment	<ul style="list-style-type: none"> • This assessment should include Details of the accurate position of all the trees (including canopy spread and root area) and species • Health and vigour and amenity value, whilst specifying whether they are to be proposed to be retained or removed and why. • Details of any pruning required to facilitate access or for other reasons. • Tree protection measures during the construction process and life of the development 	When works will take place within Root Protection Areas /canopy or result in the removal of trees or hedges.
Heritage Impact	A written statement that assesses the	Applications within a

Assessment	significance of any heritage asset that may be impacted by the development. This includes a description of the building or buildings affected by the proposal (including any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.	Conservation Area and/or affecting a Listed Building or its setting
Biodiversity / Ecology Assessment	<ul style="list-style-type: none"> The survey should be undertaken within the last available season before the submission of the application and must have been conducted by an appropriately qualified person to industry guidelines and standards. The survey must record which designated sites, protected species, and species or habitats of principal importance are present on or around the site; identify the extent/area/length present; and map their distribution. <p>The assessment should describe all the potential impacts of the development which are likely to harm designated sites, protected species and species or habitats of principle importance. This should include direct and indirect impacts, for example increased disturbance because of recreation. Using the results of the surveys the assessment must demonstrate how adverse effects will be avoided wherever possible; how unavoidable impacts will be mitigated and how impacts that cannot be avoided or mitigated will be compensated. It should also show how a net gain in biodiversity would be achieved. The use of a recognised biodiversity metric to demonstrate net gain is encouraged.</p>	Major Applications Development involving land that has not been previously developed

10. Plant, equipment and machinery

What is needed	Details	When required
Completed application form, ownership certificate CIL form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties 	All applications

	<ul style="list-style-type: none"> • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including a North point • Including a metric scale bar 	
Block Plan	<ul style="list-style-type: none"> • Identify the position of any buildings on the site and adjoining properties • Drawn to a scale of 1:500 • Including a North point • Including a metric scale bar 	All applications
Existing Elevations	<ul style="list-style-type: none"> • Show all relevant elevations and drawn to a scale of 1:50 or 1:100 • Including a metric scale bar 	When making alterations to an existing building
Proposed Elevations	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ • Including a metric scale bar 	All applications
Existing Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and showing all storeys that are to be affected by the proposed development. The floor plans should reflect the building; for instance show all door and window apertures • Including a metric scale bar 	When marking alterations to an existing building
Proposed Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and should demonstrate the uses of each room and in the case of extensions, show the complete floor of the building, including the development • Including a metric scale bar 	All applications

Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing and proposed buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Arboricultural Assessment	<ul style="list-style-type: none"> • This assessment should include Details of the accurate position of all the trees (including canopy spread and root area) and species • Health and vigour and amenity value, whilst specifying whether they are to be proposed to be retained or removed and why. • Details of any pruning required to facilitate access or for other reasons. • Tree protection measures during the construction process and life of the development 	When works will take place within Root Protection Areas /canopy or result in the removal of trees or hedges.
Design and Access Statement	A document explaining the design and how access will be provided, including access for those with disabilities. This should include a written description and justification of the planning application.	All development within a Conservation Area where the floor space to be created would exceed 100 square metres
Heritage Impact Assessment	A written statement that assesses the significance of any heritage asset that may be impacted by the development. This includes a	Applications within a Conservation Area and/or affecting a

	description of the building or buildings affected by the proposal (including any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.	Listed Building or its setting
Noise Impact Assessment	Assess the likelihood of deterioration of amenity at nearby premises due to noise and vibration. Assess the likelihood of deterioration of amenity at nearby premises due to noise and vibration. The report should describe any equipment to be installed with noise emission data.	All application
Community Involvement Submission	A document summarising how the views of the local community have been sought and taken into account in the formulation of development proposals.	Site of more than 3 hectares Development of more than 1500 square metres
Biodiversity / Ecology Assessment	<ul style="list-style-type: none"> The survey should be undertaken within the last available season before the submission of the application and must have been conducted by an appropriately qualified person to industry guidelines and standards. The survey must record which designated sites, protected species, and species or habitats of principal importance are present on or around the site; identify the extent/area/length present; and map their distribution. The assessment should describe all the potential impacts of the development which are likely to harm designated sites, protected species and species or habitats of principle importance. This should include direct and indirect impacts, for example increased disturbance because of recreation. Using the results of the surveys the assessment must demonstrate how adverse effects will be avoided wherever possible; how unavoidable impacts will be mitigated and how impacts that cannot be avoided or mitigated will be compensated. It should also show how a net gain in biodiversity would be achieved. The use of a recognised biodiversity metric to demonstrate net gain is encouraged. . 	Major Applications Development involving land that has not been previously developed
Archaeological	Include a study of the recorded history and	Development within the

Assessment	archaeology of a site and be undertaken to evaluate its archaeological potential, and in order to determine the need for and nature of any archaeological work that may be required in response to development proposals.	curtilage of a Listed Building or Scheduled Ancient Monument Area designated in the Development Plan as of archaeological significance.
Landscape and Visual Impact Assessment	The assessment will highlight the areas and viewpoints from which the proposed development would be visible and the impact on the landscape.	Proposed buildings or structures of more than 15m in height

11. Advertisements

What is needed	Details	When required
Completed application form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council. N.B. The form must include proposed lighting levels.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Existing Elevations	<ul style="list-style-type: none"> Show all relevant elevations and drawn to a scale of 1:50 or 1:100 Including a metric scale bar 	Any application where the advertisement is to be attached to a building
Proposed Elevations and Sections	<ul style="list-style-type: none"> Drawn to a scale of 1:50 or 1:100 and including all new elevations and sections through the signage. These should show the proposed signage in situ Including a metric scale bar 	All applications
Proposed Layout Plan	<ul style="list-style-type: none"> Showing the location within the site of all proposed signage 	All Applications

	<ul style="list-style-type: none"> • Including a North point • Including a metric scale bar 	
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12. Certificate of Lawfulness – Proposed and Existing Uses

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	All applications
Evidence	Should specify the reasons why the development is considered to be lawful. This will be either an explanation of why planning permission is not required or evidence of when the development was constructed or the use commenced, covering the relevant period of time.	All applications

13. Certificate of Lawfulness – Proposed Developments (e.g. buildings)

What is needed	Details	When required
Completed application form, ownership certificate CIL form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties 	All applications

	<ul style="list-style-type: none"> • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	
Evidence	Should specify the reasons why the development is considered to be lawful. This will be either an explanation of why planning permission is not required or evidence of when the development was constructed or the use commenced, covering the relevant period of time.	All applications
Block Plan	<ul style="list-style-type: none"> • Identify the position of any buildings on the site and adjoining properties • Drawn to a scale of 1:500 	All applications
Existing Elevations	<ul style="list-style-type: none"> • Show all relevant elevations and drawn to a scale of 1:50 or 1:100 • Including a metric scale bar 	All applications
Proposed Elevations	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ • Including a metric scale bar 	All applications
Existing Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and showing all storeys that are to be affected by the proposed development. The floor plans should reflect the building; for instance show all door and window apertures • Including a metric scale bar 	All applications

Proposed Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and should demonstrate the uses of each room and in the case of extensions, show the complete floor of the building, including the development • Including a metric scale bar 	All applications
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications

14. Certificate of Lawfulness – Existing Developments (e.g. buildings)

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway marked by a red line and a blue line should mark the boundaries of any adjoining land under the control of the applicant. 	All applications

	<ul style="list-style-type: none"> • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	
Evidence	Should specify the reasons why the development is considered to be lawful. This will be either an explanation of why planning permission is not required or evidence of when the development was constructed or the use commenced.	All applications
Block Plan	<ul style="list-style-type: none"> • Identify the position of any buildings on the site and adjoining properties • Drawn to a scale of 1:500 	All applications
Existing Elevations	<ul style="list-style-type: none"> • Show all relevant elevations and drawn to a scale of 1:50 or 1:100 • Including a metric scale bar 	All applications
Existing Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and showing all storeys that are to be affected by the proposed development. The floor plans should reflect the building; for instance show all door and window apertures • Including a metric scale bar 	All applications
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications

15. Listed Building Consent

What is needed	Details	When required
Completed application form and ownership certificate	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	All applications
Block Plan	<ul style="list-style-type: none"> • Identify the position of any buildings on the site and adjoining properties • Drawn to a scale of 1:500 • Including a North point • Including a metric scale bar 	All applications
Existing Elevations	<ul style="list-style-type: none"> • Show all relevant elevations and drawn to a scale of 1:50 or 1:100 • Including a metric scale bar 	All applications when external alterations proposed
Proposed Elevations	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ • Including a metric scale bar 	All applications when external alterations proposed
Existing Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and showing all storeys that are to be 	All applications when internal alterations are

	<p>affected by the proposed development. The floor plans should reflect the building; for instance show all door and window apertures</p> <ul style="list-style-type: none"> • Including a metric scale bar 	proposed
Proposed Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and should demonstrate the uses of each room and in the case of extensions, show the complete floor of the building, including the development • Including a metric scale bar 	All applications when internal alterations are proposed
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications when extensions are proposed
Design and Access Statement	A document explaining the design and how access will be provided, including access for those with disabilities. This should include a written description and justification of the planning application.	All applications
Heritage Impact Assessment	A written statement that assesses the significance of any heritage asset that may be impacted by the development. This includes a description of the building or buildings affected by the proposal (including	All applications

	any curtilage structures), the setting of the heritage assets and the character and appearance of conservation areas. This should also include an analysis of the impact that the proposal may have on the asset's significance, identify any harm, and provide justification for any harm.	
Method Statement	A statement identifying the works that are to be carried out, the order in which they are to be undertaken the techniques that are to be used and any restoration.	All applications where demolition is proposed
Site Photographs	Photographs to show the building and its features as existing	For works to Grade I Grade II* buildings, or demolition of any Listed Building .

16. Non Material Amendments

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Statement of Changes	Written statement setting out clearly the changes proposed from the previously approved application, to which amendments are proposed	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Block Plan	<ul style="list-style-type: none"> Identify the position of any buildings on the site and adjoining properties Drawn to a scale of 1:500 	All applications

	<ul style="list-style-type: none"> • Including a North point • Including a metric scale bar 	
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Proposed Elevations	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ • Including a metric scale bar 	All applications when external alterations proposed
Proposed Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and should demonstrate the uses of each room and in the case of extensions, show the complete floor of the building, including the development • Including a metric scale bar 	All applications when internal alterations are proposed

17. Prior Notification of Change of Use

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for 	All applications

	<p>large sites)</p> <ul style="list-style-type: none"> • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	
Existing Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and showing all storeys that are to be affected by the proposed development. The floor plans should reflect the building; for instance show all door and window apertures • Including a metric scale bar 	All applications
Proposed Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and should demonstrate the uses of each room and in the case of extensions, show the complete floor of the building, including the development • Including a metric scale bar 	All applications

18. Prior Notification of Larger Home Extensions

What is needed	Details	When required
Completed application form, ownership certificate CIL form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). 	All applications

	<ul style="list-style-type: none"> • Including a North point • Including a metric scale bar 	
Block Plan	<ul style="list-style-type: none"> • Identify the position of any buildings on the site and adjoining properties • Drawn to a scale of 1:500 • Including a North point • Including a metric scale bar 	All applications
Existing Elevations	<ul style="list-style-type: none"> • Show all relevant elevations and drawn to a scale of 1:50 or 1:100 • Including a metric scale bar 	All applications
Proposed Elevations	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ • Including a metric scale bar 	All applications
Existing Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and showing all storeys that are to be affected by the proposed development. The floor plans should reflect the building; for instance show all door and window apertures • Including a metric scale bar 	All applications
Proposed Floor Plans	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and should demonstrate the uses of each room and in the case of extensions, show the complete floor of the building, including the development • Including a metric scale bar 	All applications
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. 	All applications

	<ul style="list-style-type: none"> • Including a North point • Including a metric scale bar 	
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications

19. Prior Notification of Demolition

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	All applications
Method Statement	A statement identifying the works that are to be carried out, the order in which they are to be undertaken, including the techniques that are to be used, details of impact mitigation measures and of site restoration.	All applications

Site Notice Copy	<p>The site notice should be dated and include details of the applicant, identify the building to be demolished (a plan may be included location on larger sites) and contact details of Northampton Borough Council.</p> <p><i>N.B. The Site Notice must be posted on the site by the applicants, a copy of this and confirmation that this has been done must be provided with the application.</i></p>	All applications
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20. Prior Notification of the Installation of Telecommunications Apparatus

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Proposed Elevations	Drawn to a scale of 1:50 or 1:100 and including all new elevations. These should show the development in situ	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	All applications
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. 	All applications

	<ul style="list-style-type: none"> • Including a North point • Including a metric scale bar 	
Proposed Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
ICNIRP Declaration	A declaration that confirms that the proposed development complies with the requirements of the International Commission on Non-Ionizing Radiation.	All applications
Justification Statement	This should outline the reasons or need for the development/amendment/works, including plans, where relevant. In addition, an assessment of alternative sites should be included.	All applications
Arboricultural Assessment	<ul style="list-style-type: none"> • This assessment should include Details of the accurate position of all the trees (including canopy spread and root area) and species • Health and vigour and amenity value, whilst specifying whether they are to be proposed to be retained or removed and why. • Details of any pruning required to facilitate access or for other reasons. • Tree protection measures during the construction process and life of the development 	When works will take place within Root Protection Areas /canopy or result in the removal of trees or hedges.

21. Reserved Matters Applications

What is needed	Details	When required
Completed application form, ownership certificate CIL form and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	All applications
Block Plan	<ul style="list-style-type: none"> • Identify the position of any buildings on the site and adjoining properties • Drawn to a scale of 1:500 • Including a North point • Including a metric scale bar 	All applications
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a North point • Including a metric scale bar 	All applications
Any Matter not covered by Outline Application	As described in previous sections	All applications

22. Rights of Way Diversion/Stopping Up

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties All boundaries and access from the highway marked by a red line and a blue line should mark the boundaries of any adjoining land under the control of the applicant. Drawn to a scale of 1:1250 (or 1:2500 for large sites) Including at least two named streets (unless there are not two differently named streets within the vicinity). Including a North point Including a metric scale bar 	All applications
Site Plan	<ul style="list-style-type: none"> Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include the proposed and existing routes (If applicable). Including a North point Including a metric scale bar 	All applications
Justification Statement	This should outline the reasons or need for the proposed diversion/stopping up, including plans, where relevant.	All applications

23. Variation/Removal of Condition

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> Up to date and identify the location of the application site and all adjoining properties 	All applications

	<ul style="list-style-type: none"> • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	
Technical Information	This should set out the reasons why the variation/removal is sought, and include revised plans and technical reports as relevant to the proposal and background evidence where appropriate.	All applications

24. Works to trees (Tree Preservation Order Applications and Conservation Area Notifications)

What is needed	Details	When required
Completed application form, ownership certificate and fee	Planning applications can be submitted online at www.planningportal.co.uk . Alternatively further advice is available on the Council's website or by telephoning the Council.	All applications
Location Plan	<ul style="list-style-type: none"> • Up to date and identify the location of the application site and all adjoining properties • All boundaries and access from the highway should be marked by a red line, and a blue line should mark the boundaries of any adjoining land under the control of the applicant. • Drawn to a scale of 1:1250 (or 1:2500 for large sites) • Including at least two named streets (unless there are not two differently named streets within the vicinity). • Including a North point • Including a metric scale bar 	All applications

Justification Statement	This should outline the works proposed and the reasons or need for the works, including plans, where relevant. In addition, an assessment of alternative sites should be included.	All applications
Existing Site Plan	<ul style="list-style-type: none"> • Drawn to a scale of 1:50 or 1:100 and identify all existing buildings, structures, hardstandings and boundary treatments. This plan should also include any other features of note, such as existing trees, both within and adjacent to the site and the Root Protection Area of such trees, in addition to all parking spaces. • Including a metric scale bar 	All applications
Specification of Tree Works	A clear and precise specification in line with BS 3998:2010 Tree work – Recommendations	All applications
Reasons for undertaking the works	Clear justification as to why the work is considered necessary	TPO applications

25. Retrospective Applications

Requirements for retrospective applications will be the same as for those made in advance of the development or change of use. Where existing and proposed plans are referred to these should be “as existing prior to development” and “as built”.

Glossary

Air Quality Management Areas: These areas are those where issues with air quality have been identified and typically will be around **Major Road** junctions. For an up to date list please visit the Environmental Health pages of the Council's website (http://www.northampton.gov.uk/info/200075/pollution/1083/air_quality_review) or contact Environmental Health.

Allocated Commercial Areas: These are areas that have been allocated for being the location for the majority of commercial and industrial uses that are not appropriate for location in other locations, such as residential areas or places such as the town centre. These are currently mapped in the Northampton Local Plan (http://www.northampton.gov.uk/info/200205/planning_for_the_future/1449/northampton_local_plan_proposals_maps). Further guidance can be obtained by contacting the Planning Department.

Conservation Area: These are areas specially designated for protection and enhancement, following consultation with local residents and property owners, because of their distinctive character and appearance. For an up to date list, please visit the Council's website (http://www.northampton.gov.uk/info/200207/building_conservation_and_trees/1446/conservation-home) or contact the Planning department.

Drainage Assessment: This should be in line with Lead Local Flood Authority's Local Standards and Guidance for Surface Water Drainage in Northamptonshire Document. A copy of the same can be found at : <https://www.floodtoolkit.com/wp-content/uploads/2016/11/Local-Standards-for-Publication-v1-1-August-2016.pdf>

The Drainage for all new development especially within the Upper Nene catchment (including: all branches and arms of the Nene, upstream of Billing Aquadrome, and all tributaries such as Wootton Brook, Dallington Brook and Bugbrooke Brook) must be designed for a flood with a capacity for the 0.5% (1 in 200 yr) annual probability of occurring in any one year, including an appropriate allowance for climate change as per the new guidance published on 19th February 2016.

Flood Risk Assessment: Further information on Flood Risk Assessments, and Flood Zones is available on gov.uk and Northampton Borough Council websites, using the following links:

- The 'Environment Agency - Flood Map for Planning' available at: <https://flood-map-for-planning.service.gov.uk/>
- Guidance on flood risk assessment for planning applications - when you need to do a flood risk assessment as part of your planning application, how to complete one and how it's processed available at: <https://www.gov.uk/guidance/flood-risk-assessment-for-planning-applications>
- Northampton Borough Council Planning: Flooding and Water available at: https://www.northampton.gov.uk/info/200205/planning_for_the_future/1739/planning_for_the_future--documents-studies-and-publications/

Check the Environment Agency website on <https://www.gov.uk/guidance/flood-risk-assessment-for-planning-applications> for more detail on when a Flood Risk Assessment is required, clarification as to whether a site falls within a flood zone and what to include in the Assessments.

Listed Building: A listed building is a building, object or structure that has been judged to be of national historical or architectural interest. It is included on a register entitled the "List of Buildings of Special Architectural or Historic Interest". When a building is listed, **the whole building is protected**, including the interior, as well as any object or structure fixed to the building. Ancillary buildings or structures erected before July 1948 within the curtilage of the building (including boundary walls) are also included in the listing. For a list of current Listed Buildings, please visit the Council's website (http://www.northampton.gov.uk/info/200207/building_conservation_and_trees/1499/schedule_of_listed_buildings_in_northampton) or contact the Planning Department.

Major Application: These comprise proposals of: 10 or more dwellings; residential development on a site of 0.5 hectares or more where the numbers are unknown; development involving building(s) with a floorspace of 1,000 square metres or more; and any development on a site of 1 hectare or more

Major Roads: These are the M1, A43, A45, A4500, A508, A5076 and A5123.

Centres: These are the town centre, Far Cotton, Kettering Road (Kingsley), St James End, Weston Favell and Wellingborough Road (Abington). Maps showing the extent of these centres can be found in the West Northamptonshire Joint Core Strategy (<http://www.westnorthamptonshirejpu.org/connect.ti/website/view?objectId=2737424>); the Northampton Central Area Action Plan (http://www.northampton.gov.uk/info/200205/planning_for_the_future/1748/central_area_action_plan_caap) and the Northampton Local Plan (http://www.northampton.gov.uk/info/200205/planning_for_the_future/1449/northampton_local_plan_proposals_maps). Further guidance can be obtained by contacting the Planning Department.

Root Protection Area: The area around the base of a tree that contains sufficient root volume to ensure the future well being of the tree in the event of nearby soil disturbance as a result of proposed development.

Residential Uses – Developments falling in Use Class C1, C2, C3, C4, Sui Generis Houses in Multiple Occupation and Student Accommodation.

Scheduled Ancient Monument: Scheduling is the selection, for protection, of nationally important archaeological sites. Scheduled Ancient Monuments are not always visible above ground and identified by a number of criteria, including period, rarity, condition and vulnerability. For a list of current Scheduled Ancient Monuments, please visit the [Council's website](#) or contact the Planning Department.

Town Centre Uses: These are outlined in the National Planning Policy Framework and include Retail development (including warehouse clubs and factory outlet centres); leisure, entertainment facilities the more intensive sport and recreation uses (including cinemas, restaurants, drive-through restaurants, bars and pubs, night-clubs, casinos, health and fitness centres, indoor bowling centres, and bingo halls); offices; and arts, culture and tourism development (including theatres, museums,

galleries and concert halls, hotels and conference facilities)

Use Classes Order: This is the Town and Country Planning (Use Classes) Order 1987 (as amended). This document places a variety of different uses into classes, depending on their nature. As an example, retail outlets, hairdressers, undertakers, travel agencies, post offices and dry cleaners are all classed as being shops (Class A1).



Addendum to Agenda Items Tuesday 2nd July 2019

7. OTHER REPORTS

7a

Local Validation Requirements

10. ITEMS FOR DETERMINATION

10a

N/2018/1696

**Construction of 5no detached dwellings, garages and new vehicular access
Plot 1 Development land, Harborough Road North**

One additional letter of objection has been received which raises concerns that Harborough Road North is at capacity and that the proposal will exacerbate this.

10b

N/2018/1697

**Construction of 4no detached dwellings, garages and new vehicular access
Plot 2 Development land, Harborough Road North**

No updates.

10c

N/2018/1698

**Construction of 5 no detached dwellings, garages and new vehicular access
Plot 3 Development land, Harborough Road North**

No updates.

10d

N/2019/0239

**Variation of Condition 2 of Planning Permission N/2017/1479 (Refurbishment and extension of existing building (71-77b Abington Street), including additional floors above ground level ranging in height from two to five storeys, 48no residential flats (Use Class C3), car parking, landscaping, associated servicing, bin and cycle storage) to revise access arrangement, relocate entrance to rear of Unit 8, amend internal circulation to suit, reduction of extent of retail converted to residential and omission of lift
71 - 77B Abington Street**

No updates.

10e

N/2019/0369

**Creation of new parking area outside of property, including dropped kerb, removal of part of grassed area and repositioning of footpath
18 Eastfield Road, Duston**

No updates.

10f

N/2019/0401

**Extension to existing educational building and perimeter fencing
Rectory Farm Farmhouse, Olden Road**

No updates.

10g

N/2019/0478

**Change from House in Multiple Occupation (Use Class C4) for 5 occupants to House in Multiple Occupation (Use Class C4) for 6 occupants (Amendment to Planning Permission N/2018/1149)
109 Lea Road**

No updates.

11. NORTHAMPTON PARTNERSHIP HOMES

11a

N/2019/0182

**Demolition of 38no domestic garages and erection of 5no new build terrace units
Garage 1 Lock Up Garages, Stockley Street**

One letter of comment has been received which includes the following points:

- Welcome the retention of the two trees to St Edmonds Street and the new tree planting to Stockley Street.
- It would be a local benefit if a bench and flower beds could be re-provided on site.
- Regrettable that the proposal is not able to provide a play area; this area lacks any form of safe play area.

11b

N/2019/0319

**Demolition of 7no domestic lock up garages and erection of 2no new dwellings
Lock Up Garages, Thyme Court**

One additional letter of objection has been received which repeats the concerns relating to insufficient parking, loss of garaging and the safety of the new parking bays.

11c

N/2019/0392

**Construction of 2no new build units and car parking spaces
Land adjacent to 37, Windermere Way**

Withdrawn from the agenda.

11d

N/2019/0602

**Single storey rear extension
23 Champion Court**

No updates.



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2018/1696

LOCATION: Plot 1 Development Land, Harborough Road North

DESCRIPTION: Construction of 5no detached dwellings, garages and new vehicular access

WARD: Spring Park

APPLICANT: Denise Topliss and Formhouse Limited
AGENT: Mr David Corley

REFERRED BY: Councillor M Aziz
REASON: Traffic Impact

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposal would contribute towards the Council’s five year housing land supply and, as part of a balanced assessment, it is considered to be acceptable. As such, subject to conditions, no objections are raised with regards to the requirements of the National Planning Policy Framework, Policies S1, S10, H1, and BN9 of the West Northamptonshire Joint Core Strategy, and Saved Policy E20 of the Northampton Local Plan.

2 THE PROPOSAL

2.1 The application seeks full planning permission for the construction of 5 detached dwellings with associated access point, garages, and parking.

2.2 During the course of the application the proposal has been amended to amend the design of the dwellings, reduce the number and size of detached garages, and increase soft landscaping to the front.

2.3 The Committee are asked to note that this application is one of three for a parcel of land on the western side of Harborough Road North, which form a row of 14 detached dwellings. Due to the similarity of these applications, the Committee Reports for each will largely be similar.

3 SITE DESCRIPTION

- 3.1 The application site comprises a vacant parcel of land on the western side of Harborough Road North, at the edge of the Borough boundary. To the west and north of the application site is a new housing estate under construction within Daventry District, to the south of the site is the Whitehills public house, and to the east of the site are large detached and semi-detached dwellings across Harborough Road North.

4 PLANNING HISTORY

- 4.1 Formed part of outline application N/1998/26 – Residential development, landscaping and open space at land west of Harborough Road North – Refused 19/09/1999. This was related to the Buckton Fields application at Daventry District Council. The Committee resolved to refuse the scheme based on Policy E6. Policy E6 of the Local Plan, which is not a saved policy, outlined that in greenspace areas planning permission will only be granted where the proposed development would not unacceptably prejudice the function of the areas as listed and identified in appendix 2, which includes the application site. The site is outlined as important as it is a site on the edge of the built up area where retention of open space is proposed in order to maintain both the character and setting of the existing villages and resist the outward expansion of the built up area.
- 4.2 Following this refusal, planning permission was granted in December 2013 for the Buckton Fields development of 376 dwellings within Daventry District, which borders the application site to the north and west (outline permission – DA/2008/0500, reserved matters – DA/2013/0994). This development has been implemented, with the dwellings to the west of the site completed and those to the north nearing completion.
- 4.3 The result of this development at Buckton Fields is that the application site is no longer a green buffer at the edge of built development, but rather a piece of land surrounded by built form.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), and the Northampton Local Plan (1997) saved policies.

5.2 National Policies

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

Paragraphs 7-12 - Presumption in favour of sustainable development.

Paragraph 60 - Housing needed for different groups in the community.

Paragraph 127 - Create places with a high standard of amenity for existing and future users.

Section 8 - Promoting healthy and safe communities.

Section 9 - Promoting sustainable transport

Section 12 - Achieving well-designed places.

5.3 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

Policy S1 - The Distribution of Development
Policy S10 - Sustainable Development Principles.
Policy H1 - Housing
Policy BN9 - Planning for Pollution Control

5.4 **Northampton Local Plan 1997 (Saved Policies)**

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policy is material to this application:

Policy E20 - New Development (Design)

5.5 **Supplementary Planning Documents**

Northamptonshire Parking Standards (September 2016)
Planning out Crime in Northamptonshire SPG 2004

6 **CONSULTATIONS/ REPRESENTATIONS**

Comments received are summarised as follows:

- 6.1 **Councillor Aziz** – Call in to committee due to impact upon traffic of Harborough Road North and in line with concerns of Whitehills Residents Association.
- 6.2 **Whitehills and Spring Park Residents Association** – object. Site is not in Northampton Local Plan but was included in list of sites for consideration. Comments made were that the residents were advised the land would be retained as a pocket park, an objection that Harborough Road North could not cope with current traffic, Anglian Water would need to be consulted to determine if infrastructure and treatment upgrades required, and that environmental noise assessment and air quality assessments would be required. Unsafe to develop site until Local Plan published. Buckton Fields development outlined to increase traffic flow and improvements to junction made as a result. This development adds 14 houses directly onto Harborough Road North which would negatively affect the mitigation and highways improvements for Buckton Fields. The Northampton Low Emissions Strategy advises that sufficient mitigation will be needed for air quality but no such mitigation is proposed. Traffic flow in saturated and development would be tipping point to gridlock, and insufficient parking provided on site for development.
- 6.3 **NBC Public Protection** – No objection with regards to air quality subject to condition requiring the recommendation regarding mitigation measures are implemented in full prior to first occupation and a condition requiring a construction management plan. With regards to contamination, Public Protection accept report G12113-IR.
- 6.4 **NBC Arboricultural Officer** – Arboricultural method statement should be required through condition and the control measures specified within the Tree Survey Report should be required to be implemented.
- 6.5 **Northamptonshire Police** – No objection as houses address the street and have garages and parking in view. Where rear fence line is not backing onto another dwelling it should be supplemented with trellis topping. Hedge should be reduced to 1 metre.
- 6.6 **NCC Ecology** – Condition needed requiring the dismantling of the brash pile under a method statement. One of few biodiversity features on this site is the line of ash trees on eastern boundary with evidence of old hedge laying and this should be retained.

- 6.7 Following these comments the application was amended to retain the hedgerow. NCC Ecology advise: pleased to see that plots have been rearranged so as to retain and enhance the existing hedgerow.
- 6.8 **NCC Highways** – No comment. Hedgerow needs to be cut back a minimum of 2 metres from the edges of the driveway on the highway verge itself.
- 6.9 **NCC Lead Local Flood Authority** – No objection subject to conditions on surface water drainage, ownership and maintenance of surface water drainage, and verification report of surface water drainage.
- 6.10 **NCC Archaeology** – Site subject to geophysical survey in association with Buckton Fields development and mitigation was undertaken by Northamptonshire Archaeology with this area identified as having little archaeological activity.
- 6.11 **NCC Key Services** – Request a contribution towards libraries.
- 6.12 **Environment Agency** – No comment.
- 6.13 **Daventry District Council** – No objection in principle to residential development on the land subject to views of the highway authority and a consideration of necessary planning obligations. Agree with Boughton Parish Council about the narrowness/closeness of dwellings in relation to character of surroundings. Question whether contemporary design is appropriate here in context of largely traditional character of surroundings. Consider proposed layout and house designs are repetitive and not in character with area, and consider that rear boundary treatment from Buckton Fields is likely to appear unattractive.
- 6.14 **Boughton Parish Council** – Contemporary design is not suited to the other properties at Buckton Fields and opposite on Harborough Road North, object on terms of highway safety and additional traffic, proposal is overdevelopment, proposed properties are too large and should be 3-4 bedroom which is more affordable for area, hedging close to pedestrian footway will affect pedestrian safety and cause visibility issues.
- 6.15 **Anglian Water** – Sewers may need to be diverted as result of proposal, there is available capacity for foul drainage and waste.
- 6.16 Twenty-nine letters have been received from neighbouring properties objecting to the application. The concerns raised can be summarised as follows:
- Vehicle access onto Harborough Road North dangerous – hidden by hill and regular speeding.
 - Visibility from access points poor.
 - Vehicles turning right will be dangerous.
 - Pedestrians cross road by public house which will be made more dangerous.
 - Access should be from new estate to rear (Buckton Fields).
 - Do not want access from new estate to rear as on plans to property the road is outlined that it will not be amended or opened.
 - Other developers have been advised by NCC Highways that access points on Harborough Road North would not be acceptable.
 - Hazard from construction traffic.
 - Air quality poor resulting in health risks.
 - With Buckton Fields development is cannot be argued that there is a need for this development.
 - Do not want as when buying property in Buckton Fields advised would be park.
 - Don't want more houses, want green space or adventure park.
 - Told would be pocket park.
 - Proposal should be climate proof – solar panels.
 - Proposal should improve biodiversity i.e. front hedge.
 - Object to application being split into three applications – makes it seem smaller than it is.

- Harborough Road North is gateway to Northampton and so development should be in keeping with houses adjacent.
- 6.17 Three letters of support have been received from neighbouring properties. The comments raised can be summarised as follows:
- Proposed designs of high quality and reflect semi-detached houses opposite.
 - 14 houses rather than 30+ which is likely with other developers less crowded development.
 - Reduced units means less traffic.
 - New access points may help calm traffic.
 - Conditions expected on construction traffic.
 - Should request traffic calming measures such as signage, speed signs, Pelican crossing by pub.
 - Whilst others wish for rear access it is believed that this would result in lesser environment and no improvements to vista.

7 APPRAISAL

Principle of development

- 7.1 The application site is in a residential area within the urban area of Northampton and therefore the development of the site for residential purposes is acceptable in principle under Policy S1 of the Joint Core Strategy.
- 7.2 It is also the case that the Council cannot presently demonstrate a five year housing land supply. Therefore, in accordance with the presumption in favour of sustainable development in Paragraph 11 of the NPPF, development should be permitted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits. The development of the site for housing would contribute, albeit on a small scale, towards the Council's housing supply with associated social and economic benefits and this therefore weighs in favour of the proposal.
- 7.3 Whilst concern has been raised within neighbour letters that there is no need for more residential development in this area, as the Council cannot demonstrate a five year housing land supply, and residential development in this area is acceptable in principle under policy S1 of the Joint Core Strategy, it is considered that the principle for residential development is acceptable.

Design

- 7.4 Saved Policy E20 of the Northampton Local Plan and Policy H1 of the Joint Core Strategy place great importance on the quality of design of new developments and is in conformity with the NPPF which advises that planning should always seek to secure high quality design. The application site comprises an open piece of land surrounded by residential development to the north, east and west, and a public house to the south.
- 7.5 Concern was raised in neighbour letters that the proposed dwellings would appear out of character with surrounding properties due to plot widths and house designs.
- 7.6 The proposed dwellings are of slightly varying designs to introduce character and distinction between each property. The proposed dwellings utilise gable ends facing the street to complement the existing design characteristic seen on properties on Harborough Road North. The proposed plot widths are slightly narrower than that existing on the existing properties to the east of the application site, however this is only a minimal difference, and plot widths and sizes remain much more generous than those seen on the new residential estate to the west of the application site at Buckton Fields.
- 7.7 It is considered that the proposed dwellings would complement the existing characteristic of Harborough Road North, being detached dwellings that are not significantly different in size to

surrounding properties and utilising design characteristics of neighbouring properties to complement the street scene.

- 7.8 Plot 1 and plot 5 would be provided with a detached garage forward towards Harborough Road North. It is the case that the application as submitted proposed detached garages to the front of each house. The provision of five detached garages within the front garden could not be supported due to the impact upon the street scene. Subsequently the application was amended to provide two smaller garages for plots 1 and 5. The proposed garages are single storey with a flat roof with a height of 2.8 metres, and due to changing land levels on the site are set lower than the existing road. The reduced height and the set down screened by the existing hedgerow on Harborough Road North assists in screening these garages from Harborough Road North, thereby reducing their impact. Due to the minimal height and screening, it is considered that the proposed detached garages are acceptable in design terms.
- 7.9 Concern was raised by consultees that the rear boundary would be unattractive along Buckton Fields. The rear boundaries of plots 1 to 5 fall in line with existing timber boundary treatments for units on Buckton Fields to the west and as such would not be greatly visible from the street scene of the estate to the west.

Amenity

- 7.10 Saved Policy E20 of the Northampton Local Plan, Policy H1 of the Joint Core Strategy and the NPPF all seek to secure a good standard of amenity for all existing and future occupants of land and buildings.
- 7.11 The proposed dwellings are positioned approximately 16 metres from the neighbouring boundary to the west, and set back approximately 22 metres from the highway verge to the east. Due to these separation distances it is considered that the proposed dwellings would not have an unacceptable impact upon neighbouring amenity to the east or west. The application site borders the Whitehills Public House to the south, with the public house separated from the site by over 40 metres. The site would border application N/2018/1697 to the north.
- 7.12 The proposed dwellings have been designed such that there are no primary habitable windows within the side elevations of the properties. In order to restrict any potential overlooking between the properties, a condition is recommended for the northern windows within each property to be obscure glazed and fixed shut below 1.7 metres.
- 7.13 It is the case that the proposed dwellings provide good size rooms with adequate light for future occupiers, alongside sufficient garden amenity space. As such it is considered that adequate living conditions for future occupiers is provided.

Parking and highway safety

- 7.14 The Northamptonshire County Council Parking Standards seek 3 on plot parking space for 4 bedroom properties. The proposal provides 4 on plot parking spaces for each property alongside 1 garage space per property which could be used for the storage of bicycles. As such the proposal provides parking in excess of that required by NCC Highways Parking Standards.
- 7.15 A large number of objections have been received from neighbouring properties regarding the safety of the proposed access points onto Harborough Road North due to existing traffic issues, and highway safety concerns.
- 7.16 Northamptonshire County Council Highways Department have been consulted on this application and raise no comment on the scheme other than the need to provide visibility splays by the access points through shaping the hedge. With the NCC Highways Department not raising any objection to the proposed access points, it is not considered that a planning objection could be made to these access points on highway safety grounds.

- 7.17 Concern was also raised in a number of neighbour letters that access to the new dwellings should be via the new estate road to the west as opposed to Harborough Road North. It is the case that this is not what the application proposes and an assessment must be made of that before the Council.
- 7.18 Further concern was raised regarding construction traffic, and it is considered appropriate to attach a condition requiring details on construction traffic management.
- 7.19 A neighbour letter also requested that the developer be required to provide traffic calming measures such as a Pelican Crossing by the pub. No traffic calming measures have been required by NCC Highways to make this application acceptable in highway safety terms and as such it would not be reasonable for the Council to make such a request.

Other considerations

- 7.20 Neighbour letters have been received raising concerns with the air quality in this area. The Council's Environmental Health Officer recommends a condition to requiring the air quality mitigation measures identified to be implemented prior to first occupation, and a further condition requiring a construction management plan. It is also recommended that a condition regarding unexpected contamination be attached to any approval.
- 7.21 The Council's Arboricultural Officer requests conditions requiring an arboricultural method statement and for the Tree Survey Report recommendations to be implemented on site. The tree survey report is based on the scheme as originally submitted prior to the retention of the front hedge, and as such it is considered that updated details of tree protection measures are required. As such it is considered reasonable to attach a condition require these details.
- 7.22 A number of residents' letters referred to this area of land being promised as a pocket park. The application site is a private fenced off section of land surrounded by residential development, and as discussed above, the principle of providing residential development on this land is acceptable. The Council's planning department cannot require this piece of land to form a park and must assess the application as submitted.
- 7.23 The Northamptonshire Police request that the existing hedge fronting Harborough Road North be reduced to 1 metre to ensure houses face the street. The existing hedge row is an important ecological aspect of the site and is required to be retained by NCC Ecology officer. As such it is considered that the existing hedge should be retained as identified within the submitted plans.
- 7.24 NCC Ecology request conditions requiring the dismantling of the brash pile to be under an agreed method statement. The brash pile is not located with the part of the site covered by this application and as such, such a condition would be unreasonable to attach to this application as it falls outside of the application boundary.
- 7.25 The Lead Local Flood Authority raise no objection to the scheme subject to conditions on surface water drainage. It is considered reasonable to attach such conditions.
- 7.26 NCC Key Services request a contribution towards library improvements as part of this application. It is the case that there are no planning policies supporting the requirement for contributions towards library improvements and as such it would be unreasonable to request such contributions as part of this application.
- 7.27 Anglian Water raise advice regarding connecting to sewers and it is considered that an informative would be appropriate pointing to this advice.
- 7.28 A neighbour letter raised concern that the proposals should be climate proof with solar panels. The Council does not have any planning policies which require developments to provide solar panels and as such it would not be reasonable to attach a condition requiring this.

7.29 A neighbour letters raised concern with the proposal on this site being split into three separate planning applications as opposed to one for 14 dwellings. The Council cannot dictate how applications are submitted and as such cannot stop the submission of three separate applications on this piece of land.

7.30 The Northamptonshire Police recommended that the rear fence is supplemented with trellis topping. Details on the proposed boundary treatments are recommended to be required through condition.

8 CONCLUSION

8.1 To conclude, the site is in an existing housing area within the urban area of Northampton and the principle of residential development on the site is therefore acceptable under the development plan. The Council also cannot presently demonstrate a five year housing land supply and it is therefore necessary to assess the proposal against the presumption in favour of sustainable development. In this instance, the proposal would comply with the development plan and would contribute towards the Council's housing supply with associated social and economic benefits. Furthermore, no harm has been identified that would significantly and demonstrably outweigh the benefits. Therefore, it is recommended that planning permission is granted subject to conditions.

9 CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: Block Plan Plots 1-5, Site Plan Plots 1-5, Plot 1 floor and elevation plans, Plot 2 floor and east and west elevation plans, Plot 2 north and south elevations, Plot 3 floor and east and west elevation plans, Plot 3 north and south elevations, Plot 4 floor and east and west elevations, Plot 4 north and south elevations, Plot 5 floor and elevation plans, Garage plans.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. No development shall take place until a construction environment management plan or method statement has been submitted to and approved in writing by the Local Planning Authority. The approved plan/statement shall be adhered to throughout the construction period and shall provide for:

The control of noise and dust during the development process;
Traffic management and signage during construction;
Provision for all site operatives, visitors and construction vehicles loading, parking and turning within the site during the construction period;
Arrangements during the construction period to minimise the deposit of mud and other debris onto the adjacent highway;
The safe means of access of construction traffic to the site;
The hours in which deliveries and construction works would take place.

Reason: In the interests of securing a satisfactory impact upon the highway system and neighbour amenity in accordance with the requirements of the NPPF and Policy BN9 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition to ensure timely submission of details.

4. Prior to the commencement of the development hereby approved an arboricultural method statement shall be submitted to and approved in writing by the Local Planning Authority. The submitted statement shall include details of how the proposed development can proceed without

causing harm to the retained trees, alongside protective barrier fencing and ground protection measures. The development shall be undertaken in full accordance with the details approved.

Reason: To ensure appropriate protection of retained trees and in the interests of amenity in accordance with the requirements of Policy S10 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition to ensure timely submission of details.

5. The remediation method statement associated with report reference G12113-IR dated October 2012 by Nicholls Colton Geotechnical shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. The development shall be undertaken in accordance with the approved details.

Reason: To ensure the effective investigation and remediation of contaminated land sites and in the interests of health and safety and the quality of the environment in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition to ensure timely submission of details.

6. Prior to the commencement of development a surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydro geological context of the development shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall be designed to the Upper Nene Catchment standard of a 1 in 200 years plus climate change event and subsequently be implemented in accordance with the approved details before the development is completed. The details of the scheme shall include:
 - i) BRE 365 Infiltration test results with any soakaways designed for the 1/200 year plus 40% climate change event accompanied by full and appropriately cross-referenced supporting calculations.
 - ii) Full WinDES modelling or similar with the details on proposed discharge rates, simulating storms through the whole drainage system, with results of critical storms, demonstrating that there is no surcharge in the system for the 1 in 1 year, no above ground flooding for the 1 in 30 year, and that any above-ground flooding for 1 in 200 year storm is limited to areas designated and safe to flood, away from sensitive infrastructure or buildings. These storms should also include an allowance for climate change.
 - iii) A detailed drainage plan (appropriately cross-referenced to supporting calculations) for the development which clearly indicates the location of all proposed drainage elements.
 - iv) Full details of permeable paving.

Reason: To reduce the risk of flooding both on and off site in accordance with the NPPF and Policy BN7 of the West Northamptonshire Joint Core Strategy by ensuring the satisfactory means of surface water attenuation and discharge from the site. This is a pre-commencement condition to ensure timely submission of details.

7. Prior to first occupation of the development hereby approved, a detailed scheme for the ownership and maintenance for every element of the surface water drainage system proposed on the site shall be submitted to and approved in writing by the Local Planning Authority and the maintenance plan shall be carried out in full thereafter. The submitted details shall include:
 - i) Details of which organisation or body will be the main maintaining body where the area is multifunctional (e.g. open space play areas containing SuDS) with evidence that the organisation/body has agreed to such adoption;
 - ii) A maintenance schedule setting out which assets need to be maintained, at what intervals and what method is to be used;
 - iii) A site plan including access points, maintenance access easements and outfalls;
 - iv) Maintenance operations areas to be identified and shown on plans to ensure there is room to gain access to the asset, maintain it with appropriate plant and then handle any arisings generated from the site.
 - v) Details of expected design life of all assets with a schedule of when replacement assets may be required.

Reason: To ensure the future maintenance of drainage systems associated with the development.

8. Prior to first occupation of the development hereby approved, a Verification Report for the installed surface water drainage system for the site by a suitable qualified independent drainage engineer shall be submitted to and approved in writing by the Local Planning Authority based on the approved drainage strategy. These shall include:
- i) Any departure from the agreed design is in keeping with the approved principles;
 - ii) Any as-built drawings and accompanying photos;
 - iii) Results of any performance testing undertaken as a part of the application process (if required/necessary);
 - iv) Copies of any statutory approvals, such as land drainage consent for discharged etc.

Reason: To ensure the installed Surface Water Drainage System is satisfactory and in accordance with the approved reports for the development site.

9. Prior to the construction of the new dwellings hereby approved above ground floor slab level, details of all proposed external facing materials shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: In the interests of visual amenity in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

10. Prior to the construction of the new dwellings hereby approved above ground floor slab level, full details of the method of the treatment of the external boundaries of the site together with any other means of enclosure to be erected within the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the occupation of the new dwellings hereby permitted.

Reason: To ensure that the boundaries of the site are properly treated so as to secure a satisfactory and safe standard of development in accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

11. Notwithstanding the submitted details, prior to the construction of the new dwellings hereby approved above ground floor slab level, a detailed scheme of soft landscaping (including the provision of tree planting within the areas marked lawn on plan 'Site Plan Plots 1-5') for the site shall be submitted to and approved in writing by the Local Planning Authority. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner, and which shall be maintained for a period of five years; such maintenance to include the replacement in the current or nearest planting season whichever is the sooner or shrubs that may die are removed or become seriously damaged or diseased with others of similar size and species.

Reason: In the interests of amenity and to secure a satisfactory standard of development in accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

12. The parking spaces shown on approved plan 'Site Plan Plots 1-5' shall be constructed prior to the first occupation of the dwellings hereby approved and retained thereafter solely for the parking of vehicles.

Reason: To ensure that the proposed development does not prejudice the free flow of traffic or conditions of highway safety in accordance with the requirements of the National Planning Policy Framework.

13. The windows within the northern elevation of units 1, 2, 3, 4, and 5 shall be glazed with obscure glass to level 3 or higher of the Pilkington scale of privacy or equivalent and be fixed shut below 1.7 metres above floor level, before the development hereby permitted is first occupied and thereafter retained in that form at all times.

Reason: In the interests of residential amenity and to safeguard the privacy of the adjoining properties in accordance with Policy E20 of the Northampton Local Plan 1997 saved policies.

14. Prior to first occupation of the dwellings hereby approved, a vehicle to pedestrian visibility splay of 2mx2m shall be provided at each access point. The splays shall thereafter be maintained free of obstruction above 0.6 m in height.

Reason: In the interest of highway safety and in accordance with the National Planning Policy Framework.

15. The air quality mitigation measures identified within report AQ-REP-1011338-5A-20190521-Harborough Road North-R1 dated 21 May 2019 shall be implemented on site prior to first occupation of the dwellings hereby approved and retained at all times thereafter.

Reason: In the interests of residential amenity and to secure a satisfactory standard of development in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy.

16. In the event that unexpected contamination is found at any time when carrying out the development hereby approved, it must be reported immediately to the Local Planning Authority. Development works at the site shall cease and an investigation and risk assessment undertaken to assess the nature and extent of the unexpected contamination. A written report of the findings shall be submitted to and approved by the Local Planning Authority, together with a scheme to remediate, if required, prior to further development on site taking place. Only once written approval from the Local Planning Authority has been given shall development works recommence.

Reason: To ensure the effective investigation and remediation of contaminated land sites and in the interests of health and safety and the quality of the environment in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy.

17. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions or roof alteration/enlargement shall be erected to the dwellings hereby permitted.

Reason: In the interests of residential amenity and to prevent overdevelopment of the site in accordance with Policy E20 of the Northampton Local Plan and Policy H1 of the West Northamptonshire Joint Core Strategy.

INFORMATIVE:

Anglian Water:

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. If the sewers need to be diverted as a result of this development Anglian Water advise that this will be at the developers cost under Section 185 of the Water Industry Act 1991 or in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

Notification of intention to connect to the public sewer under S106 of the Water Industry Act Approval and consent will be required by Anglian Water, under the Water Industry Act 1991. Contact Development Services Team 0345 606 6087.

A public sewer is shown on record plans within the land identified for the proposed development. It appears that development proposals will affect existing public sewers. It is recommended that the applicant contact Anglian Water Development Services Team for further advice on this matter. Building over existing public sewers will not be permitted without agreement from Anglian Water.

No building will be permitted within the statutory easement width of 3 metres from the pipeline without agreement from Anglian Water. Please contact Development Services Team on 0345 606 6087

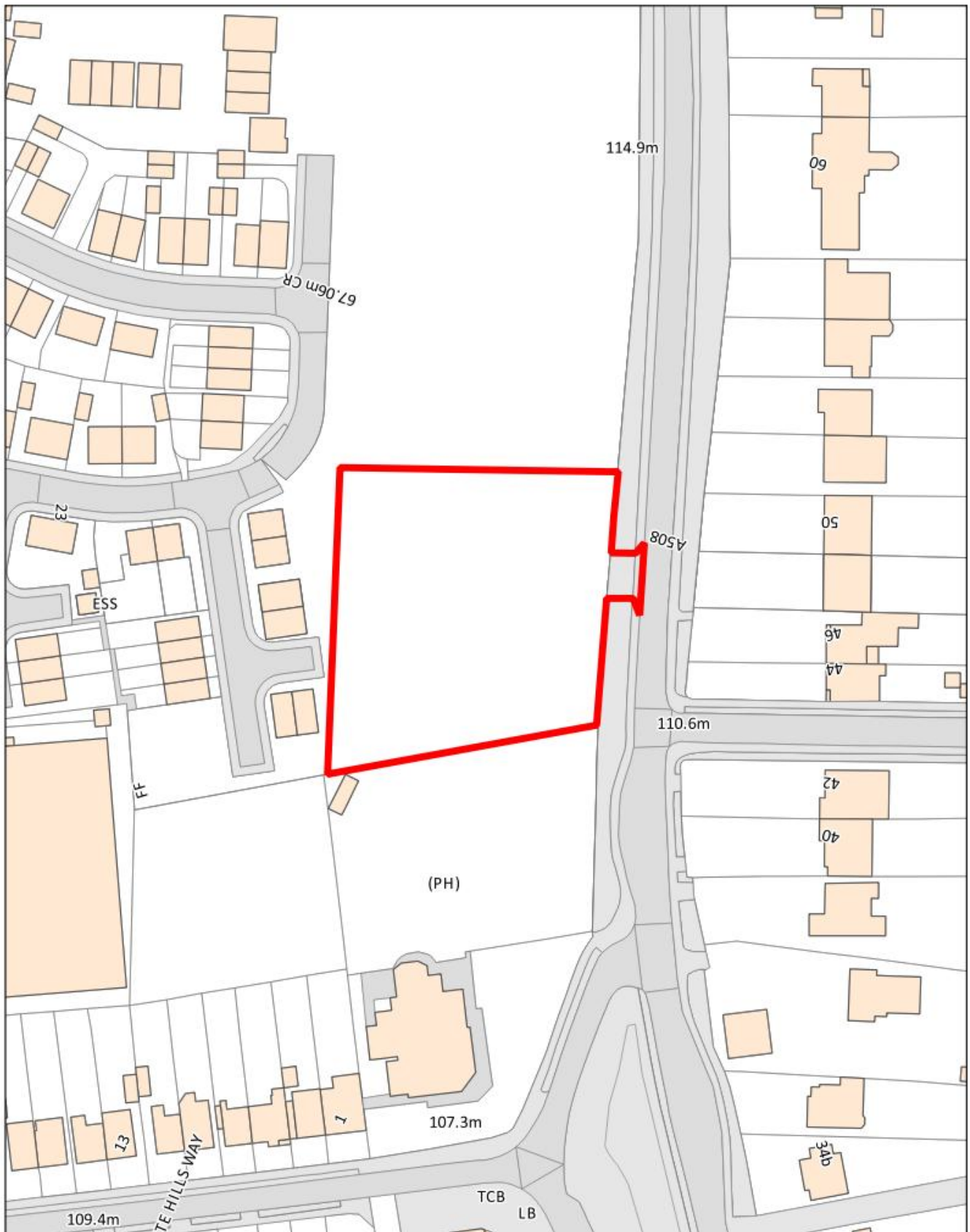
The developer should note that the site drainage details have not be approved for the purposes of adoption. If the developer wishes to have the sewers included in a sewer adoption agreement with Anglian Water (under Section 104 of the Water Industry Act 1991) they should contact Development Services Team on 0345 606 6087. Sewers intended for adoption should be designed and constructed in accordance with Sewers for Adoption guide for developers as supplemented by Anglian Water's requirements.

10 LEGAL IMPLICATIONS

10.1 The development is CIL liable.

11 SUMMARY AND LINKS TO CORPORATE PLAN

11.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



Title: **Plot 1 Harborough Road North**

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Date: 20-06-2019

Scale: 1:1,000

Drawn by: -----



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2018/1697

LOCATION: Plot 2 Development Land, Harborough Road North

DESCRIPTION: Construction of 4no detached dwellings, garages and new vehicular access

WARD: Spring Park

APPLICANT: Denise Topliss and Formhouse Limited
AGENT: Mr David Corley

REFERRED BY: Councillor M Aziz
REASON: Traffic concerns

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposal would contribute towards the Council’s five year housing land supply and, as part of a balanced assessment, it is considered to be acceptable. As such, subject to conditions, no objections are raised with regards to the requirements of the National Planning Policy Framework, Policies S1, S10, H1, and BN9 of the West Northamptonshire Joint Core Strategy, and Saved Policy E20 of the Northampton Local Plan.

2 THE PROPOSAL

- 2.1 The application seeks full planning permission for the construction of 4 detached dwellings with associated access point, garages, and parking.
- 2.2 During the course of the application the proposal has been amended to amend the design of the dwellings, reduce the number and size of detached garages, and increase soft landscaping to the front.
- 2.3 The Committee are asked to note that this application is one of three for a parcel of land on the western side of Harborough Road North, which form a row of 14 detached dwellings. Due to the similarity of these applications, the Committee Reports for each will largely be similar.

3 SITE DESCRIPTION

- 3.1 The application site comprises a vacant parcel of land on the western side of Harborough Road North, at the edge of the Borough boundary. To the west and north of the application site is a new housing estate under construction within Daventry District, to the south of the site is the Whitehills public house, and to the east of the site are large detached and semi-detached dwellings across Harborough Road North.

4 PLANNING HISTORY

- 4.1 Formed part of outline application N/1998/26 – Residential development, landscaping and open space at land west of Harborough Road North – Refused 19/09/1999. This was related to the Buckton Fields application at Daventry District Council. The Committee resolved to refuse the scheme based on policy E6. Policy E6 of the Local Plan, which is not a saved policy, outlined that in greenspace areas planning permission will only be granted where the proposed development would not unacceptably prejudice the function of the areas as listed and identified in appendix 2, which includes the application site. The site is outlined as important as it is a site on the edge of the built up area where retention of open space is proposed in order to maintain both the character and setting of the existing villages and resist the outward expansion of the built up area.
- 4.2 Following this refusal, planning permission was granted in December 2013 for the Buckton Fields development of 376 dwellings within Daventry District, which borders the application site to the north and west (outline permission – DA/2008/0500, reserved matters – DA/2013/0994). This development has been implemented, with the dwellings to the west of the site completed and those to the north nearing completion.
- 4.3 The result of this development at Buckton Fields is that the application site is no longer a green buffer at the edge of built development, but rather a piece of land surrounded by built form.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), and the Northampton Local Plan (1997) saved policies.

5.2 National Policies

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

Paragraphs 7-12 - Presumption in favour of sustainable development.

Paragraph 60 - Housing needed for different groups in the community.

Paragraph 127 - Create places with a high standard of amenity for existing and future users.

Section 8 - Promoting healthy and safe communities.

Section 9 - Promoting sustainable transport

Section 12 - Achieving well-designed places.

5.3 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

Policy S1 - The Distribution of Development
Policy S10 - Sustainable Development Principles.
Policy H1 - Housing
Policy BN9 - Planning for Pollution Control

5.4 **Northampton Local Plan 1997 (Saved Policies)**

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policy is material to this application:

Policy E20 - New Development (Design)

5.5 **Supplementary Planning Documents**

Northamptonshire Parking Standards (September 2016)
Planning out Crime in Northamptonshire SPG 2004

6 **CONSULTATIONS/ REPRESENTATIONS**

Comments received are summarised as follows:

- 6.1 **Councillor Aziz** – Call in to committee due to impact upon traffic of Harborough Road North and in line with concerns of Whitehills Residents Association.
- 6.2 **Whitehills and Spring Park Residents Association** – object. Site is not in Northampton Local Plan but was included in list of sites for consideration. Comments made were that the residents were advised the land would be retained as a pocket park, an objection that Harborough Road North could not cope with current traffic, Anglian Water would need to be consulted to determine if infrastructure and treatment upgrades required, and that environmental noise assessment and air quality assessments would be required. Unsafe to develop site until Local Plan published. Buckton Fields development outlined to increase traffic flow and improvements to junction made as a result. This development adds 14 houses directly onto Harborough Road North which would negatively affect the mitigation and highways improvements for Buckton Fields. The Northampton Low Emissions Strategy advises that sufficient mitigation will be needed for air quality but no such mitigation is proposed. Traffic flow in saturated and development would be tipping point to gridlock, and insufficient parking provided on site for development.
- 6.3 **NBC Public Protection** – No objection with regards to air quality subject to condition requiring the recommendation regarding mitigation measures are implemented in full prior to first occupation and a condition requiring a construction management plan. With regards to contamination, Public Protection accept report G12113-IR.
- 6.4 **NBC Arboricultural Officer** – Arboricultural method statement should be required through condition and the control measures specified within the Tree Survey Report should be required to be implemented.
- 6.5 **Northamptonshire Police** – No objection as houses address the street and have garages and parking in view. Where rear fence line is not backing onto another dwelling it should be supplemented with trellis topping. Hedge should be reduced to 1 metre.
- 6.6 **NCC Ecology** – Condition needed requiring the dismantling of the brash pile under a method statement. One of few biodiversity features on this site is the line of ash trees on eastern boundary with evidence of old hedge laying and this should be retained.

- 6.7 Following these comments the application was amended to retain the hedgerow. NCC Ecology advise: pleased to see that plots have been rearranged so as to retain and enhance the existing hedgerow.
- 6.8 **NCC Highways** – No comment. Hedgerow needs to be cut back a minimum of 2 metres from the edges of the driveway on the highway verge itself.
- 6.9 **NCC Lead Local Flood Authority** – No objection subject to conditions on surface water drainage, ownership and maintenance of surface water drainage, and verification report of surface water drainage.
- 6.10 **NCC Archaeology** – Site subject to geophysical survey in association with Buckton Fields development and mitigation was undertaken by Northamptonshire Archaeology with this area identified as having little archaeological activity.
- 6.11 **NCC Key Services** – Request a contribution towards libraries.
- 6.12 **Environment Agency** – No comment.
- 6.13 **Daventry District Council** – No objection in principle to residential development on the land subject to views of the highway authority and a consideration of necessary planning obligations. Agree with Boughton Parish Council about the narrowness/closeness of dwellings in relation to character of surroundings. Question whether contemporary design is appropriate here in context of largely traditional character of surroundings. Consider proposed layout and house designs are repetitive and not in character with area, and consider that rear boundary treatment from Buckton Fields is likely to appear unattractive.
- 6.14 **Boughton Parish Council** – Contemporary design is not suited to the other properties at Buckton Fields and opposite on Harborough Road North, object on terms of highway safety and additional traffic, proposal is overdevelopment, proposed properties are too large and should be 3-4 bedroom which is more affordable for area, hedging close to pedestrian footway will affect pedestrian safety and cause visibility issues.
- 6.15 **Anglian Water** – Sewers may need to be diverted as result of proposal, there is available capacity for foul drainage and waste. Recommend condition requiring details on surface water management strategy.
- 6.16 Twenty-two letters have been received from neighbouring properties objecting to the application. The concerns raised can be summarised as follows:
- Vehicle access onto Harborough Road North dangerous – hidden by hill and regular speeding.
 - Visibility from access points poor.
 - Vehicles turning right will be dangerous.
 - Pedestrians cross road by public house which will be made more dangerous.
 - Access should be from new estate to rear (Buckton Fields).
 - Other developers have been advised by NCC Highways that access points on Harborough Road North would not be acceptable.
 - Told would be pocket park.
 - Proposal should be climate proof – solar panels.
 - Proposal should improve biodiversity i.e. front hedge.
- 6.17 The following additional concerns were raised within application N/2018/1696 which is connected to this application:
- Do not want access from new estate to rear as on plans to property the road is outlined that it will not be amended or opened.
 - Hazard from construction traffic.

- Air quality poor resulting in health risks.
 - With Buckton Fields development is cannot be argued that there is a need for this development.
 - Do not want as when buying property in Buckton Fields advised would be park.
 - Don't want more houses, want green space or adventure park.
 - Object to application being split into three applications – makes it seem smaller than it is.
 - Harborough Road North is gateway to Northampton and so development should be in keeping with houses adjacent.
- 6.18 Two letters of support have been received from neighbouring properties. The comments raised can be summarised as follows:
- Proposed designs of high quality and reflect semi-detached houses opposite.
 - 14 houses rather than 30+ which is likely with other developers less crowded development.
 - Reduced units means less traffic.
 - New access points may help calm traffic.
 - Conditions expected on construction traffic.
 - Should request traffic calming measures such as signage, speed signs, Pelican crossing by pub.
 - Whilst others wish for rear access it is believes that this would result in lesser environment and no improvements to vista.

7 APPRAISAL

Principle of development

- 7.1 The application site is in a residential area within the urban area of Northampton and therefore development of the site for residential purposes is acceptable in principle under Policy S1 of the Joint Core Strategy.
- 7.2 It is also the case that the Council cannot presently demonstrate a five year housing land supply. Therefore, in accordance with the presumption in favour of sustainable development in Paragraph 11 of the NPPF, development should be permitted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits. The development of the site for housing would contribute, albeit on a small scale, towards the Council's housing supply with associated social and economic benefits and this therefore weighs in favour of the proposal.
- 7.3 Whilst concern has been raised within neighbour letters that there is no need for more residential development in this area, as the Council cannot demonstrate a five year housing land supply, and residential development in this area is acceptable in principle under policy S1 of the Joint Core Strategy, it is considered that the principle for residential development is acceptable.

Design

- 7.4 Saved Policy E20 of the Northampton Local Plan and Policy H1 of the Joint Core Strategy place great importance on the quality of design of new developments and is in conformity with the NPPF which advises that planning should always seek to secure high quality design. The application site comprises an open piece of land surrounded by residential development to the north, east and west, and a public house to the south.
- 7.5 Concern was raised in neighbour letters that the proposed dwellings would appear out of character with surrounding properties due to plot widths and house designs.
- 7.6 The proposed dwellings are of slightly varying designs to introduce character and distinction between each property. The proposed dwellings utilise gable ends facing the street to complement the existing design characteristic seen on properties on Harborough Road North. The proposed plot widths are slightly narrower than that existing on the existing properties to the east of the application site, however this is only a minimal difference, and plot widths and sizes remain much

more generous than those seen on the new residential estate to the west of the application site at Buckton Fields.

- 7.7 It is considered that the proposed dwellings would complement the existing characteristic of Harborough Road North, being detached dwellings that are not significantly different in size to surrounding properties and utilising design characteristics of neighbouring properties to complement the street scene.
- 7.8 Plot 6 and plot 9 would be provided with a detached garage forward towards Harborough Road North. It is the case that the application as submitted proposed detached garages to the front of each house. The provision of five detached garages within the front garden could not be supported due to the impact upon the street scene. Subsequently the application was amended to provide two smaller garages for plots 6 and 9. The proposed garages are single storey with a flat roof with a height of 2.8 metres, and due to changing land levels on the site are set lower than the existing road. The reduced height and the set down screened by the existing hedgerow on Harborough Road North assists in screening these garages from Harborough Road North, thereby reducing their impact. Due to the minimal height and screening, it is considered that the proposed detached garages are acceptable in design terms.
- 7.9 Concern was raised by consultees that the rear boundary would be unattractive along Buckton Fields. The rear boundaries of plots 6 – 9 would run along the road for Badeslade to the west of the application site. It is considered that any boundary treatment along this elevation is of a brick wall of a high design quality which provides interest to the street scene of Badeslade. A condition is recommended requiring details of boundary treatments.

Amenity

- 7.10 Saved Policy E20 of the Northampton Local Plan, Policy H1 of the Joint Core Strategy and the NPPF all seek to secure a good standard of amenity for all existing and future occupants of land and buildings.
- 7.11 The proposed dwellings are positioned approximately 38 metres from the neighbouring properties to the west on Badeslade, and set back approximately 22 metres from the highway verge to the east. Due to these separation distances it is considered that the proposed dwellings would not have an unacceptable impact upon neighbouring amenity to the east or west. The application site borders application N/2018/1696 to the south and application N/2018/1698 to the north.
- 7.12 The proposed dwellings have been designed such that there are no primary habitable windows within the side elevations of the properties. In order to restrict any potential overlooking between the properties, a condition is recommended for the northern windows within each property to be obscure glazed and fixed shut below 1.7 metres.
- 7.13 It is the case that the proposed dwellings provide good size rooms with adequate light for future occupiers, alongside sufficient garden amenity space. As such it is considered that adequate living conditions for future occupiers is provided.

Parking and highway safety

- 7.14 The Northamptonshire County Council Parking Standards seek 3 on plot parking space for 4 bedroom properties. The proposal provides 4 on plot parking spaces for each property alongside 1 garage space per property which could be used for the storage of bicycles. As such the proposal provides parking in excess of that required by NCC Highways Parking Standards.
- 7.15 A large number of objections have been received from neighbouring properties regarding the safety of the proposed access points onto Harborough Road North due to existing traffic issues, and highway safety concerns.

- 7.16 Northamptonshire County Council Highways Department have been consulted on this application and raise no comment on the scheme other than the need to provide visibility splays by the access points through shaping the hedge. With the NCC Highways Department not raising any objection to the proposed access points, it is not considered that a planning objection could be made to these access points on highway safety grounds.
- 7.17 Concern was also raised in a number of neighbour letters that access to the new dwellings should be via the new estate road to the west as opposed to Harborough Road North. It is the case that this is not what the application proposes and an assessment must be made of that before the Council.
- 7.18 Further concern was raised regarding construction traffic, and it is considered appropriate to attach a condition requiring details on construction management.
- 7.19 A neighbour letter also requested that the developer be required to provide traffic calming measures such as a Pelican Crossing by the pub. No traffic calming measures have been required by NCC Highways to make this application acceptable in highway safety terms and as such it would not be reasonable for the Council to make such a request.

Other considerations

- 7.20 Neighbour letters have been received raising concerns with the air quality in this area. The Council's Environmental Health Officer recommends a condition to requiring the air quality mitigation measures identified to be implemented prior to first occupation, and a further condition requiring a construction management plan. It is also recommended that a condition regarding unexpected contamination be attached to any approval.
- 7.21 The Council's Arboricultural Officer requests conditions requiring an arboricultural method statement and for the Tree Survey Report recommendations to be implemented on site. The tree survey report is based on the scheme as originally submitted prior to the retention of the front hedge, and as such it is considered that updated details of tree protection measures are required. As such it is considered reasonable to attach a condition require these details.
- 7.22 A number of residents' letters referred to this area of land being promised as a pocket park. The application site is a private fences off section of land surrounded by residential development, and as discussed above, the principle of providing residential development on this land is acceptable. The Council's planning department cannot require this piece of land to form a park and must assess the application as submitted.
- 7.23 The Northamptonshire Police request that the existing hedge fronting Harborough Road North be reduced to 1 metre to ensure houses face the street. The existing hedge row is an important ecological aspect of the site and is required to be retained by NCC Ecology officer. As such it is considered that the existing hedge should be retained as identified within the submitted plans.
- 7.24 NCC Ecology request conditions requiring the dismantling of the brash pile to be under an agreed method statement. A condition to this effect is recommended.
- 7.25 The Lead Local Flood Authority raise no objection to the scheme subject to conditions on surface water drainage. It is considered reasonable to attach such conditions.
- 7.26 NCC Key Services request a contribution towards library improvements as part of this application. It is the case that there are no planning policies supporting the requirement for contributions towards library improvements and as such it would be unreasonable to request such contributions as part of this application.
- 7.27 Anglian Water raise advice regarding connecting to sewers and it is considered that an informative would be appropriate pointing to this advice. A condition regarding surface water is also recommended which it is considered is covered by the conditions recommended by the LLFA.

- 7.28 A neighbour letter raised concern that the proposals should be climate proof with solar panels. The Council does not have any planning policies which require developments to provide solar panels and as such it would not be reasonable to attach a condition requiring this.
- 7.29 A neighbour letters raised concern with the proposal on this site being split into three separate planning applications as opposed to one for 14 dwellings. The Council cannot dictate how applications are submitted and as such cannot stop the submission of three separate applications on this piece of land.
- 7.30 The Northamptonshire Police recommended that the rear fence is supplemented with trellis topping. Details on the proposed boundary treatments are recommended to be required through condition.

8 CONCLUSION

- 8.1 To conclude, the site is in an existing housing area within the urban area of Northampton and the principle of residential development on the site is therefore acceptable under the development plan. The Council also cannot presently demonstrate a five year housing land supply and it is therefore necessary to assess the proposal against the presumption in favour of sustainable development. In this instance, the proposal would comply with the development plan and would contribute towards the Council's housing supply with associated social and economic benefits. Furthermore, no harm has been identified that would significantly and demonstrably outweigh the benefits. Therefore, it is recommended that planning permission is granted subject to conditions.

9 CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: Block Plan Plots 6-9, Site Plan Plots 6-9, Plot 6 floor and elevation plans, Plot 7 floor and east and west elevation plans, Plot 7 north and south elevations, Plot 8 floor and east and west elevation plans, Plot 8 north and south elevations, Plot 9 floor and elevation plans, Garage plans.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. No development shall take place until a construction environment management plan or method statement has been submitted to and approved in writing by the Local Planning Authority. The approved plan/statement shall be adhered to throughout the construction period and shall provide for:

The control of noise and dust during the development process;
Traffic management and signage during construction;
Provision for all site operatives, visitors and construction vehicles loading, parking and turning within the site during the construction period;
Arrangements during the construction period to minimise the deposit of mud and other debris onto the adjacent highway;
The safe means of access of construction traffic to the site;
The hours in which deliveries and construction works would take place.

Reason: In the interests of securing a satisfactory impact upon the highway system and neighbour amenity in accordance with the requirements of the NPPF and Policy BN9 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition to ensure timely submission of details.

4. Prior to the commencement of the development hereby approved a method statement for the dismantling of the brush pile, taking into account potential reptile basking and/or harbourage, shall be submitted to and approved in writing by the Local Planning Authority. The development shall be undertaken in accordance with the approved method statement.

Reason: To ensure appropriate protection of potential ecology on the site in accordance with the NPPF. This is a pre-commencement condition to ensure timely submission of details.

5. Prior to the commencement of the development hereby approved an arboricultural method statement shall be submitted to and approved in writing by the Local Planning Authority. The submitted statement shall include details of how the proposed development can proceed without causing harm to the retained trees, alongside protective barrier fencing and ground protection measures. The development shall be undertaken in full accordance with the details approved.

Reason: To ensure appropriate protection of retained trees and in the interests of amenity in accordance with the requirements of Policy S10 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition to ensure timely submission of details.

6. The remediation method statement associated with report reference G12113-IR dated October 2012 by Nicholls Colton Geotechnical shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. The development shall be undertaken in accordance with the approved details.

Reason: To ensure the effective investigation and remediation of contaminated land sites and in the interests of health and safety and the quality of the environment in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition to ensure timely submission of details.

7. Prior to the commencement of development a surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydro geological context of the development shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall be designed to the Upper Nene Catchment standard of a 1 in 200 years plus climate change event and subsequently be implemented in accordance with the approved details before the development is completed. The details of the scheme shall include:
 - i) BRE 365 Infiltration test results with any soakaways designed for the 1/200 year plus 40% climate change event accompanied by full and appropriately cross-referenced supporting calculations.
 - ii) Full WinDES modelling or similar with the details on proposed discharge rates, simulating storms through the whole drainage system, with results of critical storms, demonstrating that there is no surcharge in the system for the 1 in 1 year, no above ground flooding for the 1 in 30 year, and that any above-ground flooding for 1 in 200 year storm is limited to areas designated and safe to flood, away from sensitive infrastructure or buildings. These storms should also include an allowance for climate change.
 - iii) A detailed drainage plan (appropriately cross-referenced to supporting calculations) for the development which clearly indicates the location of all proposed drainage elements.
 - iv) Full details of permeable paving.

Reason: To reduce the risk of flooding both on and off site in accordance with the NPPF and Policy BN7 of the West Northamptonshire Joint Core Strategy by ensuring the satisfactory means of surface water attenuation and discharge from the site. This is a pre-commencement condition to ensure timely submission of details.

8. Prior to first occupation of the development hereby approved, a detailed scheme for the ownership and maintenance for every element of the surface water drainage system proposed on the site shall be submitted to and approved in writing by the Local Planning Authority and the maintenance plan shall be carried out in full thereafter. The submitted details shall include:

- i) Details of which organisation or body will be the main maintaining body where the area is multifunctional (e.g. open space play areas containing SuDS) with evidence that the organisation/body has agreed to such adoption;
- ii) A maintenance schedule setting out which assets need to be maintained, at what intervals and what method is to be used;
- iii) A site plan including access points, maintenance access easements and outfalls;
- iv) Maintenance operations areas to be identified and shown on plans to ensure there is room to gain access to the asset, maintain it with appropriate plant and then handle any arisings generated from the site.
- v) Details of expected design life of all assets with a schedule of when replacement assets may be required.

Reason: To ensure the future maintenance of drainage systems associated with the development.

9. Prior to first occupation of the development hereby approved, a Verification Report for the installed surface water drainage system for the site by a suitable qualified independent drainage engineer shall be submitted to and approved in writing by the Local Planning Authority based on the approved drainage strategy. These shall include:
- i) Any departure from the agreed design is in keeping with the approved principles;
 - ii) Any as-built drawings and accompanying photos;
 - iii) Results of any performance testing undertaken as a part of the application process (if required/necessary);
 - iv) Copies of any statutory approvals, such as land drainage consent for discharged etc.

Reason: To ensure the installed Surface Water Drainage System is satisfactory and in accordance with the approved reports for the development site.

10. Prior to the construction of the new dwellings hereby approved above ground floor slab level, details of all proposed external facing materials shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: In the interests of visual amenity in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

11. Prior to the construction of the new dwellings hereby approved above ground floor slab level, full details of the method of the treatment of the external boundaries of the site (including a brick wall of a high design quality along the western boundary with Badeslade road) together with any other means of enclosure to be erected within the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the occupation of the new dwellings hereby permitted.

Reason: To ensure that the boundaries of the site are properly treated so as to secure a satisfactory and safe standard of development in accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

12. Notwithstanding the submitted details, prior to the construction of the new dwellings hereby approved above ground floor slab level, a detailed scheme of soft landscaping (including the provision of tree planting within the areas marked lawn on plan 'Site Plan Plots 6-9') for the site shall be submitted to and approved in writing by the Local Planning Authority. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner, and which shall be maintained for a period of five years; such maintenance to include the replacement in the current or nearest planting season whichever is the sooner or shrubs that may die are removed or become seriously damaged or diseased with others of similar size and species.

Reason: In the interests of amenity and to secure a satisfactory standard of development in

accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

13. The parking spaces shown on approved plan 'Site Plan Plots 6-9' shall be constructed prior to the first occupation of the dwellings hereby approved and retained thereafter solely for the parking of vehicles.

Reason: To ensure that the proposed development does not prejudice the free flow of traffic or conditions of highway safety in accordance with the requirements of the National Planning Policy Framework.

14. The windows within the northern elevation of units 6, 7, 8, and 9 shall be glazed with obscure glass to level 3 or higher of the Pilkington scale of privacy or equivalent and be fixed shut below 1.7 metres above floor level, before the development hereby permitted is first occupied and thereafter retained in that form at all times.

Reason: In the interests of residential amenity and to safeguard the privacy of the adjoining properties in accordance with Policy E20 of the Northampton Local Plan 1997 saved policies.

15. Prior to first occupation of the dwellings hereby approved, a vehicle to pedestrian visibility splay of 2mx2m shall be provided at each access point. The splays shall thereafter be maintained free of obstruction above 0.6 m in height.

Reason: In the interest of highway safety and in accordance with the National Planning Policy Framework.

16. The air quality mitigation measures identified within report AQ-REP-1011338-5A-20190521-Harborough Road North-R1 dated 21 May 2019 shall be implemented on site prior to first occupation of the dwellings hereby approved and retained at all times thereafter.

Reason: In the interests of residential amenity and to secure a satisfactory standard of development in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy.

17. In the event that unexpected contamination is found at any time when carrying out the development hereby approved, it must be reported immediately to the Local Planning Authority. Development works at the site shall cease and an investigation and risk assessment undertaken to assess the nature and extent of the unexpected contamination. A written report of the findings shall be submitted to and approved by the Local Planning Authority, together with a scheme to remediate, if required, prior to further development on site taking place. Only once written approval from the Local Planning Authority has been given shall development works recommence.

Reason: To ensure the effective investigation and remediation of contaminated land sites and in the interests of health and safety and the quality of the environment in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy.

18. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions or roof alteration/enlargement shall be erected to the dwellings hereby permitted.

Reason: In the interests of residential amenity and to prevent overdevelopment of the site in accordance with Policy E20 of the Northampton Local Plan and Policy H1 of the West Northamptonshire Joint Core Strategy.

INFORMATIVE:

Anglian Water:

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. If the sewers need to be diverted as a result of this development Anglian Water advise that this will be at the developers cost under Section 185 of the Water Industry Act 1991 or in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

Notification of intention to connect to the public sewer under S106 of the Water Industry Act Approval and consent will be required by Anglian Water, under the Water Industry Act 1991. Contact Development Services Team 0345 606 6087.

A public sewer is shown on record plans within the land identified for the proposed development. It appears that development proposals will affect existing public sewers. It is recommended that the applicant contact Anglian Water Development Services Team for further advice on this matter. Building over existing public sewers will not be permitted without agreement from Anglian Water.

No building will be permitted within the statutory easement width of 3 metres from the pipeline without agreement from Anglian Water. Please contact Development Services Team on 0345 606 6087

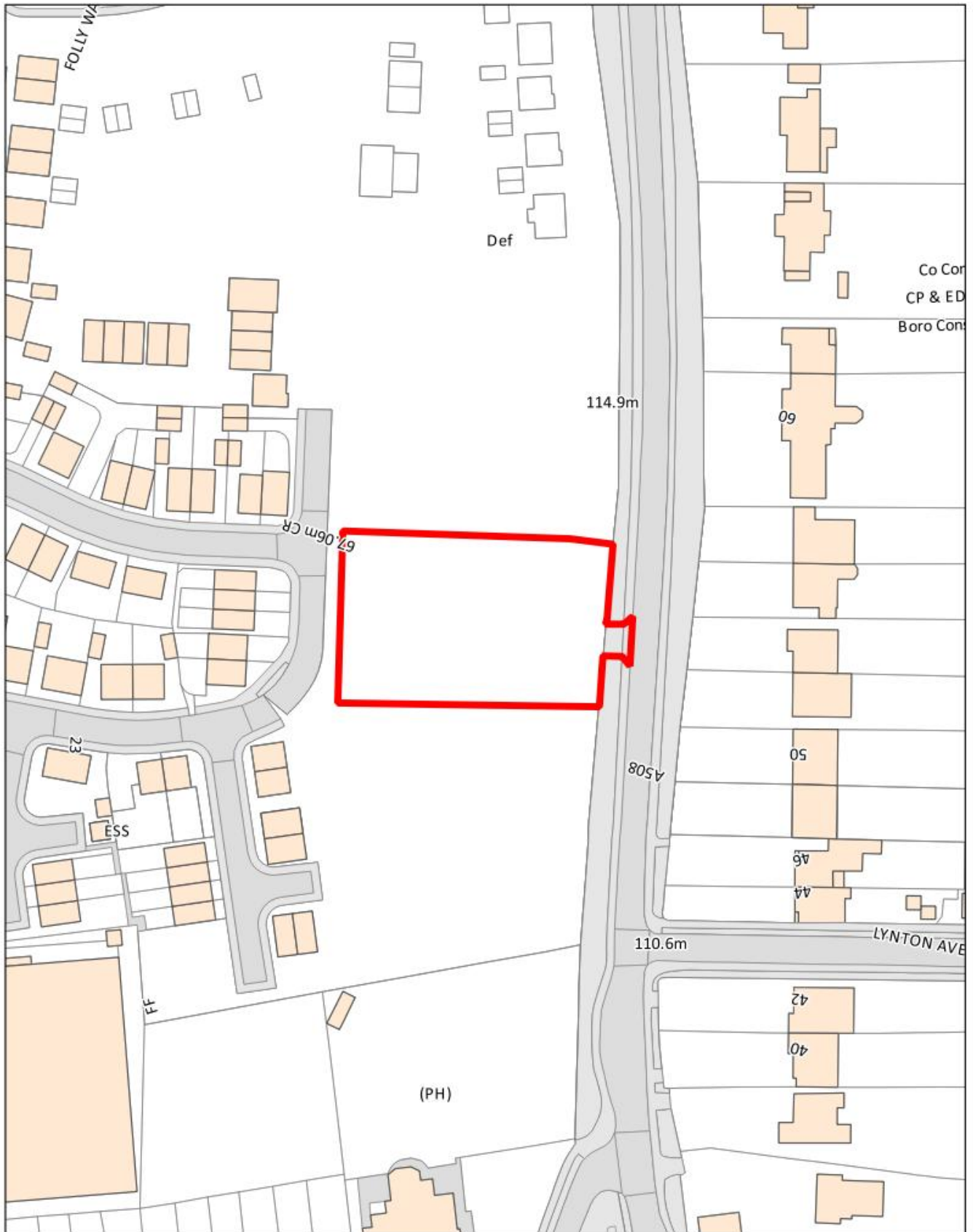
The developer should note that the site drainage details have not be approved for the purposes of adoption. If the developer wishes to have the sewers included in a sewer adoption agreement with Anglian Water (under Section 104 of the Water Industry Act 1991) they should contact Development Services Team on 0345 606 6087. Sewers intended for adoption should be designed and constructed in accordance with Sewers for Adoption guide for developers as supplemented by Anglian Water's requirements.

10 LEGAL IMPLICATIONS

10.1 The development is CIL liable.

11 SUMMARY AND LINKS TO CORPORATE PLAN

11.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



Title: **Plot 2 Harborough Road North**

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Date: 20-06-2019

Scale: 1:1,062

Drawn by: -----



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2018/1698

LOCATION: Plot 3 Development Land, Harborough Road North

DESCRIPTION: Construction of 5 no detached dwellings, garages and new vehicular access

WARD: Spring Park

APPLICANT: Denise Topliss and Formhouse Limited
AGENT: Mr David Corley

REFERRED BY: Councillor M Aziz
REASON: Traffic concerns

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposal would contribute towards the Council's five year housing land supply and, as part of a balanced assessment, it is considered to be acceptable. As such, subject to conditions, no objections are raised with regards to the requirements of the National Planning Policy Framework, Policies S1, S10, H1, and BN9 of the West Northamptonshire Joint Core Strategy, and Saved Policy E20 of the Northampton Local Plan.

2 THE PROPOSAL

2.1 The application seeks full planning permission for the construction of 5 detached dwellings with associated access point, garages, and parking.

2.2 During the course of the application the proposal has been amended to amend the design of the dwellings, reduce the number and size of detached garages, and increase soft landscaping to the front.

2.3 The Committee are asked to note that this application is one of three for a parcel of land on the western side of Harborough Road North, which form a row of 14 detached dwellings. Due to the similarity of these applications, the Committee Reports for each will largely be similar.

3 SITE DESCRIPTION

- 3.1 The application site comprises a vacant parcel of land on the western side of Harborough Road North, at the edge of the Borough boundary. To the west and north of the application site is a new housing estate under construction within Daventry District, to the south of the site is the Whitehills public house, and to the east of the site are large detached and semi-detached dwellings across Harborough Road North.

4 PLANNING HISTORY

- 4.1 Formed part of outline application N/1998/26 – Residential development, landscaping and open space at land west of Harborough Road North – Refused 19/09/1999. This was related to the Buckton Fields application at Daventry District Council. The Committee resolved to refuse the scheme based on policy E6. Policy E6 of the Local Plan, which is not a saved policy, outlined that in greenspace areas planning permission will only be granted where the proposed development would not unacceptably prejudice the function of the areas as listed and identified in appendix 2, which includes the application site. The site is outlined as important as it is a site on the edge of the built up area where retention of open space is proposed in order to maintain both the character and setting of the existing villages and resist the outward expansion of the built up area.
- 4.2 Following this refusal, planning permission was granted in December 2013 for the Buckton Fields development of 376 dwellings within Daventry District, which borders the application site to the north and west (outline permission – DA/2008/0500, reserved matters – DA/2013/0994). This development has been implemented, with the dwellings to the west of the site completed and those to the north nearing completion.
- 4.3 The result of this development at Buckton Fields is that the application site is no longer a green buffer at the edge of built development, but rather a piece of land surrounded by built form.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), and the Northampton Local Plan (1997) saved policies.

5.2 National Policies

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

Paragraphs 7-12 - Presumption in favour of sustainable development.

Paragraph 60 - Housing needed for different groups in the community.

Paragraph 127 - Create places with a high standard of amenity for existing and future users.

Section 8 - Promoting healthy and safe communities.

Section 9 - Promoting sustainable transport

Section 12 - Achieving well-designed places.

5.3 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

Policy S1 - The Distribution of Development
Policy S10 - Sustainable Development Principles.
Policy H1 - Housing
Policy BN9 - Planning for Pollution Control

5.4 **Northampton Local Plan 1997 (Saved Policies)**

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policy is material to this application:

Policy E20 - New Development (Design)

5.5 **Supplementary Planning Documents**

Northamptonshire Parking Standards (September 2016)
Planning out Crime in Northamptonshire SPG 2004

6 **CONSULTATIONS/ REPRESENTATIONS**

Comments received are summarised as follows:

- 6.1 **Councillor Aziz** – Call in to committee due to impact upon traffic of Harborough Road North and in line with concerns of Whitehills Residents Association.
- 6.2 **Whitehills and Spring Park Residents Association** – object. Site is not in Northampton Local Plan but was included in list of sites for consideration. Comments made were that the residents were advised the land would be retained as a pocket park, an objection that Harborough Road North could not cope with current traffic, Anglian Water would need to be consulted to determine if infrastructure and treatment upgrades required, and that environmental noise assessment and air quality assessments would be required. Unsafe to develop site until Local Plan published. Buckton Fields development outlined to increase traffic flow and improvements to junction made as a result. This development adds 14 houses directly onto Harborough Road North which would negatively affect the mitigation and highways improvements for Buckton Fields. The Northampton Low Emissions Strategy advises that sufficient mitigation will be needed for air quality but no such mitigation is proposed. Traffic flow in saturated and development would be tipping point to gridlock, and insufficient parking provided on site for development.
- 6.3 **NBC Public Protection** – No objection with regards to air quality subject to condition requiring the recommendation regarding mitigation measures are implemented in full prior to first occupation and a condition requiring a construction management plan. With regards to contamination, Public Protection accept report G12113-IR.
- 6.4 **NBC Arboricultural Officer** – Arboricultural method statement should be required through condition and the control measures specified within the Tree Survey Report should be required to be implemented.
- 6.5 **Northamptonshire Police** – No objection as houses address the street and have garages and parking in view. Where rear fence line is not backing onto another dwelling it should be supplemented with trellis topping. Hedge should be reduced to 1 metre.
- 6.6 **NCC Ecology** – Condition needed requiring the dismantling of the brash pile under a method statement. Low biodiversity value.
- 6.7 **NCC Highways** – No comment. Hedgerow needs to be cut back a minimum of 2 metres from the edges of the driveway on the highway verge itself.

- 6.8 **NCC Lead Local Flood Authority** – No objection subject to conditions on surface water drainage, ownership and maintenance of surface water drainage, and verification report of surface water drainage.
- 6.9 **NCC Archaeology** – Site subject to geophysical survey in association with Buckton Fields development and mitigation was undertaken by Northamptonshire Archaeology with this area identified as having little archaeological activity.
- 6.10 **NCC Key Services** – Request a contribution towards libraries.
- 6.11 **Environment Agency** – No comment.
- 6.12 **Daventry District Council** – No objection in principle to residential development on the land subject to views of the highway authority and a consideration of necessary planning obligations. Agree with Boughton Parish Council about the narrowness/closeness of dwellings in relation to character of surroundings. Question whether contemporary design is appropriate here in context of largely traditional character of surroundings. Consider proposed layout and house designs are repetitive and not in character with area, and consider that rear boundary treatment from Buckton Fields is likely to appear unattractive.
- 6.13 **Boughton Parish Council** – Contemporary design is not suited to the other properties at Buckton Fields and opposite on Harborough Road North, object on terms of highway safety and additional traffic, proposal is overdevelopment, proposed properties are too large and should be 3-4 bedroom which is more affordable for area, hedging close to pedestrian footway will affect pedestrian safety and cause visibility issues.
- 6.14 **Anglian Water** – Sewers may need to be diverted as result of proposal, there is available capacity for foul drainage and waste.
- 6.15 Twenty-four letters have been received from neighbouring properties objecting to the application. The concerns raised can be summarised as follows:
- Vehicle access onto Harborough Road North dangerous – hidden by hill and regular speeding.
 - Visibility from access points poor.
 - Vehicles turning right will be dangerous.
 - Pedestrians cross road by public house which will be made more dangerous.
 - Access should be from new estate to rear (Buckton Fields).
 - Other developers have been advised by NCC Highways that access points on Harborough Road North would not be acceptable.
 - Told would be pocket park.
 - Proposal should be climate proof – solar panels.
 - Proposal should improve biodiversity i.e. front hedge.
 - Object to application being split into three applications – makes it seem smaller than it is.
 - Concern that revisions not clearly explained to neighbours.
- 6.16 The following additional concerns were raised within application N/2018/1696 which is connected to this application:
- Do not want access from new estate to rear as on plans to property the road is outlined that it will not be amended or opened.
 - Hazard from construction traffic.
 - Air quality poor resulting in health risks.
 - With Buckton Fields development is cannot be argued that there is a need for this development.
 - Do not want as when buying property in Buckton Fields advised would be park.
 - Don't want more houses, want green space or adventure park.

- Harborough Road North is gateway to Northampton and so development should be in keeping with houses adjacent.
- 6.17 Two letters of support have been received from neighbouring properties. The comments raised can be summarised as follows:
- Proposed designs of high quality and reflect semi-detached houses opposite.
 - 14 houses rather than 30+ which is likely with other developers less crowded development.
 - Reduced units means less traffic.
 - New access points may help calm traffic.
 - Conditions expected on construction traffic.
 - Should request traffic calming measures such as signage, speed signs, Pelican crossing by pub.
 - Whilst others wish for rear access it is believed that this would result in lesser environment and no improvements to vista.

7 APPRAISAL

Principle of development

- 7.1 The application site is in a residential area within the urban area of Northampton and therefore development of the site for residential purposes is acceptable in principle under Policy S1 of the Joint Core Strategy.
- 7.2 It is also the case that the Council cannot presently demonstrate a five year housing land supply. Therefore, in accordance with the presumption in favour of sustainable development in Paragraph 11 of the NPPF, development should be permitted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits. The development of the site for housing would contribute, albeit on a small scale, towards the Council's housing supply with associated social and economic benefits and this therefore weighs in favour of the proposal.
- 7.3 Whilst concern has been raised within neighbour letters that there is no need for more residential development in this area, as the Council cannot demonstrate a five year housing land supply, and residential development in this area is acceptable in principle under policy S1 of the Joint Core Strategy, it is considered that the principle for residential development is acceptable.

Design

- 7.4 Saved Policy E20 of the Northampton Local Plan and Policy H1 of the Joint Core Strategy place great importance on the quality of design of new developments and is in conformity with the NPPF which advises that planning should always seek to secure high quality design. The application site comprises an open piece of land surrounded by residential development to the north, east and west, and a public house to the south.
- 7.5 Concern was raised in neighbour letters that the proposed dwellings would appear out of character with surrounding properties due to plot widths and house designs.
- 7.6 The proposed dwellings are of slightly varying designs to introduce character and distinction between each property. The proposed dwellings utilise gable ends facing the street to complement the existing design characteristic seen on properties on Harborough Road North. The proposed plot widths are slightly narrower than that existing on the existing properties to the east of the application site, however this is only a minimal difference, and plot widths and sizes remain much more generous than those seen on the new residential estate to the west of the application site at Buckton Fields.
- 7.7 It is considered that the proposed dwellings would complement the existing characteristic of Harborough Road North, being detached dwellings that are not significantly different in size to

surrounding properties and utilising design characteristics of neighbouring properties to complement the street scene.

- 7.8 Plot 10 and plot 14 would be provided with a detached garage forward towards Harborough Road North. It is the case that the application as submitted proposed detached garages to the front of each house. The provision of five detached garages within the front garden could not be supported due to the impact upon the street scene. Subsequently the application was amended to provide two smaller garages for plots 10 and 14. The proposed garages are single storey with a flat roof with a height of 2.8 metres, and due to changing land levels on the site are set lower than the existing road. The reduced height and the set down screened by the existing hedgerow on Harborough Road North assists in screening these garages from Harborough Road North, thereby reducing their impact. Due to the minimal height and screening, it is considered that the proposed detached garages are acceptable in design terms.
- 7.9 Concern was raised by consultees that the rear boundary would be unattractive along Buckton Fields. The rear boundaries of plots 10-14 would run along the road for Badeslade to the west of the application site and the northern boundary would run along the new estate road to the north. It is considered that any boundary treatment along these elevations should be a brick wall of a high design quality which provides interest to the street scene. A condition is recommended requiring details of boundary treatments.

Amenity

- 7.10 Saved Policy E20 of the Northampton Local Plan, Policy H1 of the Joint Core Strategy and the NPPF all seek to secure a good standard of amenity for all existing and future occupants of land and buildings.
- 7.11 The proposed dwellings are positioned approximately 32 metres from the neighbouring properties to the west on Badeslade, and set back approximately 22 metres from the highway verge to the east. Due to these separation distances it is considered that the proposed dwellings would not have an unacceptable impact upon neighbouring amenity to the east or west. To the north of plot 14 is new residential development as part of the Buckton Fields development which is nearing completion. The side elevation of plot 14 has been designed to step away from the northern boundary to reduce the impact upon neighbouring amenity to the north. A sufficient separation distance is retained with the properties to the north on Buckton Fields to ensure that there would not be an unacceptable overshadowing or loss of light impact as a result of the development. The application site borders application N/2018/1697 to the south.
- 7.12 The proposed dwellings have been designed such that there are no primary habitable windows within the side elevations of the properties. In order to restrict any potential overlooking between the properties, a condition is recommended for the northern windows within each property to be obscure glazed and fixed shut below 1.7 metres.
- 7.13 It is the case that the proposed dwellings provide good size rooms with adequate light for future occupiers, alongside sufficient garden amenity space. As such it is considered that adequate living conditions for future occupiers is provided.

Parking and highway safety

- 7.14 The Northamptonshire County Council Parking Standards seek 3 on plot parking space for 4 bedroom properties. The proposal provides 4 on plot parking spaces for each property alongside 1 garage space per property which could be used for the storage of bicycles. As such the proposal provides parking in excess of that required by NCC Highways Parking Standards.
- 7.15 A large number of objections have been received from neighbouring properties regarding the safety of the proposed access points onto Harborough Road North due to existing traffic issues, and highway safety concerns.

- 7.16 Northamptonshire County Council Highways Department have been consulted on this application and raise no comment on the scheme other than the need to provide visibility splays by the access points through shaping the hedge. With the NCC Highways Department not raising any objection to the proposed access points, it is not considered that a planning objection could be made to these access points on highway safety grounds.
- 7.17 Concern was also raised in a number of neighbour letters that access to the new dwellings should be via the new estate road to the west as opposed to Harborough Road North. It is the case that this is not what the application proposes and an assessment must be made of that before the Council.
- 7.18 Further concern was raised regarding construction traffic, and it is considered appropriate to attach a condition requiring details on construction management.
- 7.19 A neighbour letter also requested that the developer be required to provide traffic calming measures such as a Pelican Crossing by the pub. No traffic calming measures have been required by NCC Highways to make this application acceptable in highway safety terms and as such it would not be reasonable for the Council to make such a request.

Other considerations

- 7.20 Neighbour letters have been received raising concerns with the air quality in this area. The Council's Environmental Health Officer recommends a condition to requiring the air quality mitigation measures identified to be implemented prior to first occupation, and a further condition requiring a construction management plan. It is also recommended that a condition regarding unexpected contamination be attached to any approval.
- 7.21 The Council's Arboricultural Officer requests conditions requiring an arboricultural method statement and for the Tree Survey Report recommendations to be implemented on site. The tree survey report is based on the scheme as originally submitted prior to the retention of the front hedge, and as such it is considered that updated details of tree protection measures are required. As such it is considered reasonable to attach a condition require these details.
- 7.22 A number of residents' letters referred to this area of land being promised as a pocket park. The application site is a private fences off section of land surrounded by residential development, and as discussed above, the principle of providing residential development on this land is acceptable. The Council's planning department cannot require this piece of land to form a park and must assess the application as submitted.
- 7.23 The Northamptonshire Police request that the existing hedge fronting Harborough Road North be reduced to 1 metre to ensure houses face the street. The existing hedge row is an important ecological aspect of the site and is required to be retained by NCC Ecology officer. As such it is considered that the existing hedge should be retained as identified within the submitted plans.
- 7.24 NCC Ecology request conditions requiring the dismantling of the brash pile to be under an agreed method statement. A condition to this effect is recommended.
- 7.25 The Lead Local Flood Authority raise no objection to the scheme subject to conditions on surface water drainage. It is considered reasonable to attach such conditions.
- 7.26 NCC Key Services request a contribution towards library improvements as part of this application. It is the case that there are no planning policies supporting the requirement for contributions towards library improvements and as such it would be unreasonable to request such contributions as part of this application.
- 7.27 Anglian Water raise advice regarding connecting to sewers and it is considered that an informative would be appropriate pointing to this advice.

- 7.28 A neighbour letter raised concern that the proposals should be climate proof with solar panels. The Council does not have any planning policies which require developments to provide solar panels and as such it would not be reasonable to attach a condition requiring this.
- 7.29 A neighbour letters raised concern with the proposal on this site being split into three separate planning applications as opposed to one for 14 dwellings. The Council cannot dictate how applications are submitted and as such cannot stop the submission of three separate applications on this piece of land.
- 7.30 The Northamptonshire Police recommended that the rear fence is supplemented with trellis topping. Details on the proposed boundary treatments are recommended to be required through condition.

8 CONCLUSION

- 8.1 To conclude, the site is in an existing housing area within the urban area of Northampton and the principle of residential development on the site is therefore acceptable under the development plan. The Council also cannot presently demonstrate a five year housing land supply and it is therefore necessary to assess the proposal against the presumption in favour of sustainable development. In this instance, the proposal would comply with the development plan and would contribute towards the Council's housing supply with associated social and economic benefits. Furthermore, no harm has been identified that would significantly and demonstrably outweigh the benefits. Therefore, it is recommended that planning permission is granted subject to conditions.

9 CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: Block Plan Plots 10-14, Site Plan Plots 10-14, Plot 10 floor and elevation plans, Plot 11 floor and east and west elevation plans, Plot 11 north and south elevations, Plot 12 floor and east and west elevation plans, Plot 12 north and south elevations, Plot 13 floor and east and west elevation plans, Plot 13 north and south elevations, Plot 14 floor and elevation plans, Garage plans.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. No development shall take place until a construction environment management plan or method statement has been submitted to and approved in writing by the Local Planning Authority. The approved plan/statement shall be adhered to throughout the construction period and shall provide for:

The control of noise and dust during the development process;
Traffic management and signage during construction;
Provision for all site operatives, visitors and construction vehicles loading, parking and turning within the site during the construction period;
Arrangements during the construction period to minimise the deposit of mud and other debris onto the adjacent highway;
The safe means of access of construction traffic to the site;
The hours in which deliveries and construction works would take place.

Reason: In the interests of securing a satisfactory impact upon the highway system and neighbour amenity in accordance with the requirements of the NPPF and Policy BN9 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition to ensure timely submission of details.

4. Prior to the commencement of the development hereby approved a method statement for the dismantling of the brush pile, taking into account potential reptile basking and/or harbourage, shall be submitted to and approved in writing by the Local Planning Authority. The development shall be undertaken in accordance with the approved method statement.

Reason: To ensure appropriate protection of potential ecology on the site in accordance with the NPPF. This is a pre-commencement condition to ensure timely submission of details.

5. Prior to the commencement of the development hereby approved an arboricultural method statement shall be submitted to and approved in writing by the Local Planning Authority. The submitted statement shall include details of how the proposed development can proceed without causing harm to the retained trees, alongside protective barrier fencing and ground protection measures. The development shall be undertaken in full accordance with the details approved.

Reason: To ensure appropriate protection of retained trees and in the interests of amenity in accordance with the requirements of Policy S10 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition to ensure timely submission of details.

6. The remediation method statement associated with report reference G12113-IR dated October 2012 by Nicholls Colton Geotechnical shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. The development shall be undertaken in accordance with the approved details.

Reason: To ensure the effective investigation and remediation of contaminated land sites and in the interests of health and safety and the quality of the environment in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition to ensure timely submission of details.

7. Prior to the commencement of development a surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydro geological context of the development shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall be designed to the Upper Nene Catchment standard of a 1 in 200 years plus climate change event and subsequently be implemented in accordance with the approved details before the development is completed. The details of the scheme shall include:
 - i) BRE 365 Infiltration test results with any soakaways designed for the 1/200 year plus 40% climate change event accompanied by full and appropriately cross-referenced supporting calculations.
 - ii) Full WinDES modelling or similar with the details on proposed discharge rates, simulating storms through the whole drainage system, with results of critical storms, demonstrating that there is no surcharge in the system for the 1 in 1 year, no above ground flooding for the 1 in 30 year, and that any above-ground flooding for 1 in 200 year storm is limited to areas designated and safe to flood, away from sensitive infrastructure or buildings. These storms should also include an allowance for climate change.
 - iii) A detailed drainage plan (appropriately cross-referenced to supporting calculations) for the development which clearly indicates the location of all proposed drainage elements.
 - iv) Full details of permeable paving.

Reason: To reduce the risk of flooding both on and off site in accordance with the NPPF and Policy BN7 of the West Northamptonshire Joint Core Strategy by ensuring the satisfactory means of surface water attenuation and discharge from the site. This is a pre-commencement condition to ensure timely submission of details.

8. Prior to first occupation of the development hereby approved, a detailed scheme for the ownership and maintenance for every element of the surface water drainage system proposed on the site shall be submitted to and approved in writing by the Local Planning Authority and the maintenance plan shall be carried out in full thereafter. The submitted details shall include:

- i) Details of which organisation or body will be the main maintaining body where the area is multifunctional (e.g. open space play areas containing SuDS) with evidence that the organisation/body has agreed to such adoption;
- ii) A maintenance schedule setting out which assets need to be maintained, at what intervals and what method is to be used;
- iii) A site plan including access points, maintenance access easements and outfalls;
- iv) Maintenance operations areas to be identified and shown on plans to ensure there is room to gain access to the asset, maintain it with appropriate plant and then handle any arisings generated from the site.
- v) Details of expected design life of all assets with a schedule of when replacement assets may be required.

Reason: To ensure the future maintenance of drainage systems associated with the development.

9. Prior to first occupation of the development hereby approved, a Verification Report for the installed surface water drainage system for the site by a suitable qualified independent drainage engineer shall be submitted to and approved in writing by the Local Planning Authority based on the approved drainage strategy. These shall include:
- i) Any departure from the agreed design is in keeping with the approved principles;
 - ii) Any as-built drawings and accompanying photos;
 - iii) Results of any performance testing undertaken as a part of the application process (if required/necessary);
 - iv) Copies of any statutory approvals, such as land drainage consent for discharged etc.

Reason: To ensure the installed Surface Water Drainage System is satisfactory and in accordance with the approved reports for the development site.

10. Prior to the construction of the new dwellings hereby approved above ground floor slab level, details of all proposed external facing materials shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: In the interests of visual amenity in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

11. Prior to the construction of the new dwellings hereby approved above ground floor slab level, full details of the method of the treatment of the external boundaries of the site (including a brick wall of a high design quality along the western and northern boundaries) together with any other means of enclosure to be erected within the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the occupation of the new dwellings hereby permitted.

Reason: To ensure that the boundaries of the site are properly treated so as to secure a satisfactory and safe standard of development in accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

12. Notwithstanding the submitted details, prior to the construction of the new dwellings hereby approved above ground floor slab level, a detailed scheme of soft landscaping (including the provision of tree planting within the areas marked lawn on plan 'Site Plan Plots 10-14') for the site shall be submitted to and approved in writing by the Local Planning Authority. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner, and which shall be maintained for a period of five years; such maintenance to include the replacement in the current or nearest planting season whichever is the sooner or shrubs that may die are removed or become seriously damaged or diseased with others of similar size and species.

Reason: In the interests of amenity and to secure a satisfactory standard of development in

accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

13. The parking spaces shown on approved plan 'Site Plan Plots 10-14' shall be constructed prior to the first occupation of the dwellings hereby approved and retained thereafter solely for the parking of vehicles.

Reason: To ensure that the proposed development does not prejudice the free flow of traffic or conditions of highway safety in accordance with the requirements of the National Planning Policy Framework.

14. The windows within the northern elevation of units 10, 11, 12, 13, and the rooflight serving the first floor bathroom within plot 14 shall be glazed with obscure glass to level 3 or higher of the Pilkington scale of privacy or equivalent and be fixed shut below 1.7 metres above floor level, before the development hereby permitted is first occupied and thereafter retained in that form at all times.

Reason: In the interests of residential amenity and to safeguard the privacy of the adjoining properties in accordance with Policy E20 of the Northampton Local Plan 1997 saved policies.

15. Prior to first occupation of the dwellings hereby approved, a vehicle to pedestrian visibility splay of 2mx2m shall be provided at each access point. The splays shall thereafter be maintained free of obstruction above 0.6 m in height.

Reason: In the interest of highway safety and in accordance with the National Planning Policy Framework.

16. The air quality mitigation measures identified within report AQ-REP-1011338-5A-20190521-Harborough Road North-R1 dated 21 May 2019 shall be implemented on site prior to first occupation of the dwellings hereby approved and retained at all times thereafter.

Reason: In the interests of residential amenity and to secure a satisfactory standard of development in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy.

17. In the event that unexpected contamination is found at any time when carrying out the development hereby approved, it must be reported immediately to the Local Planning Authority. Development works at the site shall cease and an investigation and risk assessment undertaken to assess the nature and extent of the unexpected contamination. A written report of the findings shall be submitted to and approved by the Local Planning Authority, together with a scheme to remediate, if required, prior to further development on site taking place. Only once written approval from the Local Planning Authority has been given shall development works recommence.

Reason: To ensure the effective investigation and remediation of contaminated land sites and in the interests of health and safety and the quality of the environment in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy.

18. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions or roof alteration/enlargement shall be erected to the dwellings hereby permitted.

Reason: In the interests of residential amenity and to prevent overdevelopment of the site in accordance with Policy E20 of the Northampton Local Plan and Policy H1 of the West Northamptonshire Joint Core Strategy.

INFORMATIVE:

Anglian Water:

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. If the sewers need to be diverted as a result of this development Anglian Water advise that this will be at the developers cost under Section 185 of the Water Industry Act 1991 or in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

Notification of intention to connect to the public sewer under S106 of the Water Industry Act Approval and consent will be required by Anglian Water, under the Water Industry Act 1991. Contact Development Services Team 0345 606 6087.

A public sewer is shown on record plans within the land identified for the proposed development. It appears that development proposals will affect existing public sewers. It is recommended that the applicant contact Anglian Water Development Services Team for further advice on this matter. Building over existing public sewers will not be permitted without agreement from Anglian Water.

No building will be permitted within the statutory easement width of 3 metres from the pipeline without agreement from Anglian Water. Please contact Development Services Team on 0345 606 6087

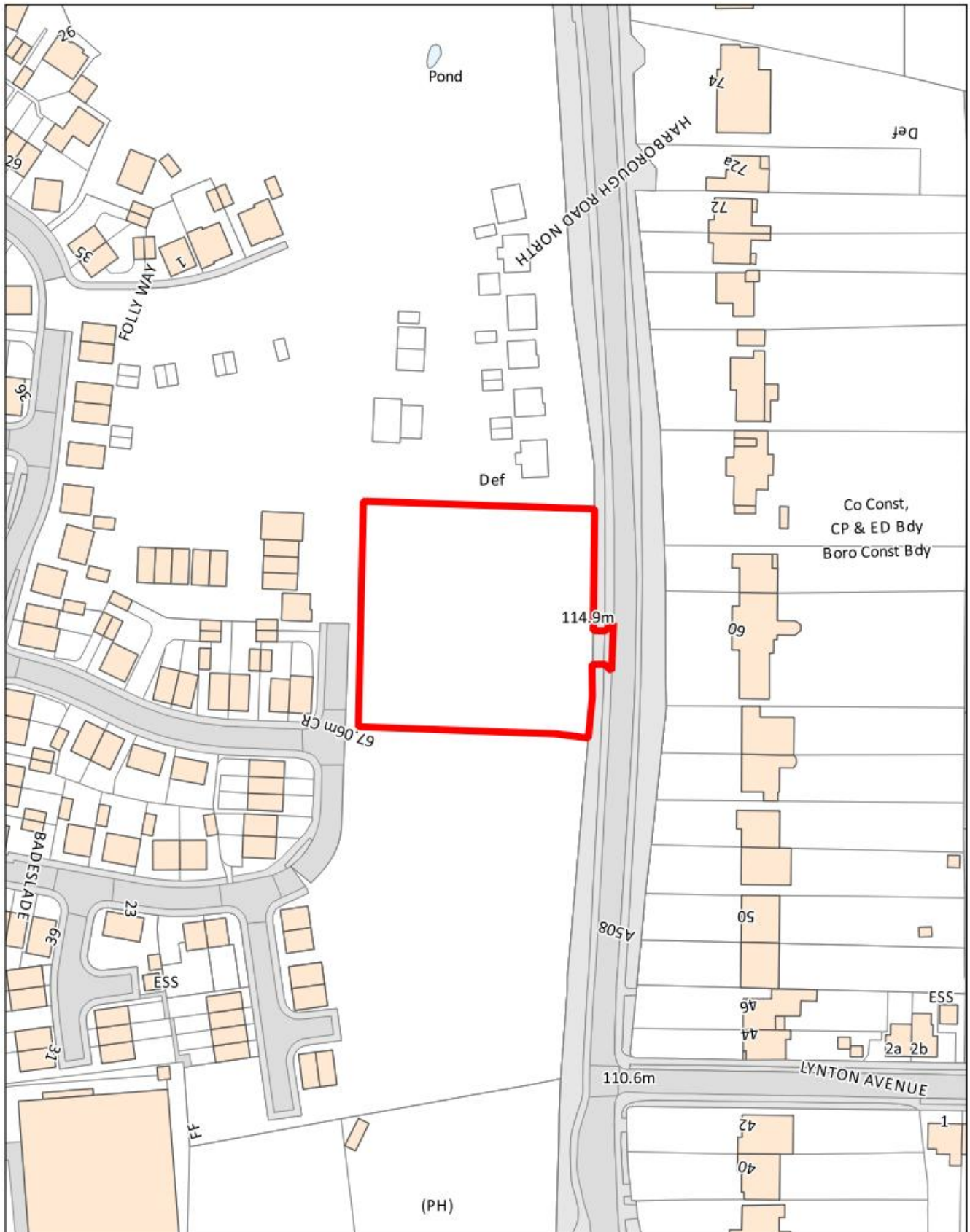
The developer should note that the site drainage details have not be approved for the purposes of adoption. If the developer wishes to have the sewers included in a sewer adoption agreement with Anglian Water (under Section 104 of the Water Industry Act 1991) they should contact Development Services Team on 0345 606 6087. Sewers intended for adoption should be designed and constructed in accordance with Sewers for Adoption guide for developers as supplemented by Anglian Water's requirements.

10 LEGAL IMPLICATIONS

10.1 The development is CIL liable.

11 SUMMARY AND LINKS TO CORPORATE PLAN

11.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



Title: **Plot 3 Harborough Road North**

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Date: 20-06-2019

Scale: 1:1,250

Drawn by: -----



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2019/0239

LOCATION: 71 - 77B Abington Street

DESCRIPTION: Variation of Condition 2 of Planning Permission N/2017/1479 (Refurbishment and extension of existing building (71-77b Abington Street), including additional floors above ground level ranging in height from two to five storeys, 48no residential flats (Use Class C3), car parking, landscaping, associated servicing, bin and cycle storage) to revise access arrangement, relocate entrance to rear of Unit 8, amend internal circulation to suit, reduction of extent of retail converted to residential and omission of lift

WARD: Castle Ward

APPLICANT: LDI Northampton (Development) Ltd
AGENT: Church Lukas

REFERRED BY: Head of Planning
REASON: Major application requiring S106 agreement

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

- 1.1 **APPROVAL IN PRINCIPLE** subject to the prior completion of a S106 Agreement to secure:
- A payment towards construction worker training opportunities; and
 - Financial contribution to provide an additional CCTV camera in the town centre including maintenance for 5 years.
- 1.2 The proposed amendments would not have an undue detrimental impact on the appearance and character of the host building, wider area, nearby heritage assets, neighbouring amenity, highway safety or site security and would comply with the aims and objectives of the National Planning Policy Framework, Policies SA, S1, S3, S10, S11, H1, H2, H5, BN5, BN7, BN9, N2, INF1 and INF2 of the West Northamptonshire Joint Core Strategy and Policies 1,2,5, 10, 11, 16, 18 and 36 of the Central Area Action Plan.

- 1.3 It is also recommended that in the event of the S106 Agreement not being completed within three calendar months of this Committee meeting, in addition to being able to grant permission as recommended above, the Head of Planning be given delegated authority to either refuse or finally dispose of the application (at his discretion) on account that the necessary mitigation measures have not been secured in order to make the proposal acceptable in line with the requirements of Policies INF1 and INF2 of the West Northamptonshire Joint Core Strategy and the National Planning Policy Framework.

2 THE PROPOSAL

- 2.1 Members will recall that planning permission N/2017/1479 was granted in principle by the Planning Committee on 3 July 2018, for the refurbishment and extension of 71-77b Abington Street, including additional floors above ground level, ranging in height from two to five storeys, to provide 48no flats with car parking, landscaping and bin storage.
- 2.2 This was subject to the finalisation of a S106 agreement to secure the provision of a CCTV camera and its maintenance and a financial contribution towards construction training. The S106 agreement was completed and formal planning permission issued in November 2018.
- 2.3 The current application proposes to vary the approved plans condition under S73 of the Town and Country Planning Act to include the following amendments:
- Change the main access to the flats from the front of Abington Street to the rear of the building via the existing car park
 - Retention of Unit 6 as a retail unit
 - Loss of rear part of Unit 8 to create an entrance to residential accommodation
 - Improvements to safety of site to increase security from lighting/ landscaping
 - Minor changes to internal layout to include re-located lift shaft and changes to room layouts of some of the approved flats
 - Additional planters near both the site and building entrance to improve quality of space around entrances

3 SITE DESCRIPTION

- 3.1 The application site comprises a 1970s red brick two storey building of functional appearance located along the northern side of Abington Street. The ground floor consists of a row of retail units some 67 metres in length with ancillary storage and offices above connected to the shop units. Some of the ground floor units are currently vacant. The site has a car park to the rear, owned by the applicant and used by tenants associated with the retail units and rented out privately. The rear car park is bound by two storey offices to the rear on Notre Dame Mews, with taller three and five storey buildings located beyond the car park to the east of the site on Lower Mounts. In addition to retail and commercial uses, there are some night time uses within the vicinity of the site, one adjoining the site which has recently re-opened as a Public House/ club.

4 PLANNING HISTORY

- 4.1 N/2017/1479 Planning Permission for 48 flats. This was approved on 14 November 2018 subject to conditions.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application

comprises the adopted West Northamptonshire Joint Core Strategy (2014), Northampton Local Plan (1997) saved policies, Northampton Central Area Action Plan 2013.

Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 require Local Planning Authorities when considering development to pay special attention to preserving a listed building or its setting and to the desirability of preserving or enhancing the character or appearance of a conservation area.

6 National Policies

6.1 **The National Planning Policy Framework (NPPF)** sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

- Paragraph 61 - housing should be provided for different groups including families, older people, students and disabled.
- Paragraph 108 and 109 Access
- Paragraph 117 - decisions should promote an effective use of land in meeting the need for new homes
- Paragraph 127 - relates to good design and residential amenity
- Paragraph 192 - consideration to impact on heritage assets

6.2 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

SA - Presumption in Favour of Sustainable Development
S1 - The Distribution of development
S3 - Scale and distribution of housing development
S10 - Sustainable Development Principles
S11 - Low Carbon and Renewable Energy
H1 - Housing Density and Mix and Type of dwellings
H2 - Affordable Housing
H5 - Managing the existing housing stock
BN5 - The Historic Environment and Landscape
BN7 - Flood Risk
BN9 - Planning for Pollution Control
INF1 - Approach to Infrastructure Requirements
INF2 - Contributions to Infrastructure Requirements
N2 - Northampton Central Area

6.3 Northampton Central Area Action Plan 2013

The Central Area Action Plan (CAAP) provides specific planning policy and guidance for the town centre and adjoining areas where significant regeneration and investment is proposed in the period up to 2026 and is in conformity with the objectives of the NPPF. Relevant policies include:

Policy 1 - Promoting Design Excellence
Policy 2 - Tall Buildings
Policy 5 - Flood Risk and Drainage
Policy 10 - Parking
Policy 11 - Town Centre Boundary
Policy 16 - Central Area Living
Policy 18 - Abington Street East

6.4 Supplementary Planning Documents

Northamptonshire Parking Standards (September 2016)
Planning out Crime in Northamptonshire SPG 2004

7 CONSULTATIONS/ REPRESENTATIONS

Comments summarised as follows:

7.1 Northamptonshire Police object to the proposal for the following reasons:

- The proposal would be contrary to NCC Planning Out Crime Guidance.
- The applicant proposes to remove the front entrance onto Abington Street leaving just the entrance at the back for residential access.
- Natural surveillance would be reduced by moving the main entrance to the back of the site.
- Experience indicates that over time gates may break and may not be maintained sufficiently.

7.2 Northamptonshire Highways no comments.

7.3 NBC Public Protection no objection.

7.4 Town Centre Conservation Area Advisory Committee no comment.

8 APPRAISAL

8.1 Relevant Planning policy requiring good design is contained in Policy 1 of the Central Area Action Plan which is also reflected in S10 of the West Northamptonshire Joint Core Strategy.

8.2 Policy H1 of the West Northamptonshire Joint Core Strategy (JCS) states that development should provide for a mix of house types, sizes and tenures to cater for different accommodation needs. Residential developments will be expected to make the most efficient use of land having regard to the location and setting of the site; the existing character and density of the local area; accessibility to services and facilities, the living conditions provided for future residents; and the impact on the amenities of occupiers of neighbouring properties.

8.3 The National Planning Policy Framework (NPPF) also continues the same theme promoting high quality design, urging Local Authorities to reject poor design. The NPPF also emphasises the importance of securing high standard of residential amenity for future occupiers and providing adequate levels of site security. National policy also places importance on development having a positive impact on heritage assets which is re-iterated in BN5 and S10 of the Joint Core Strategy

8.4 The proposal includes some minor alterations to the internal layout of some of the rooms in the flats, however, there would be no material impact on residential amenity for future occupants or any impact on the external appearance of the building. The overall number of flats would remain the same with no change to fenestration proposed.

8.5 Furthermore, the applicant proposes to increase landscaping and provision of planters which would contribute positively to the appearance of the approved development. There would be additional lighting which would enhance site security to accord with Policy S10 of the JCS and aims of the NPPF.

8.6 In terms of moving the principal entrance to the rear, the proposal would result in a continuous ground floor retail frontage on Abington Street, which is considered an improvement as compared with the approved development. Although some rear retail floor space would be loss to unit 8, the proposal includes the retention of the whole of unit 6 which is considered positive in terms of

retaining the shopping character on Abington Street, which forms part of a Primary Retail Frontage in the Central Area Action Plan.

- 8.7 The rear entrance would also include a small canopy above the doors. In design terms, it is considered acceptable and would be in keeping with the character of the host building. Other works include re-positioning of an internal lift shaft which would not be visible from outside the building and therefore have no visual impact.
- 8.8 Notwithstanding the comments from the Crime Prevention Advisor that re-location of the principal entrance would potentially attract an increase in anti-social activity arising from much less natural surveillance, discussions with the applicant have resulted in the provision of an additional CCTV camera overlooking the rear car park and new rear entrance to enhance security. The applicant also intend to undertake additional works to improve security in terms of additional lighting and improved landscaping. On balance, it is considered the proposed security measures would warrant the scheme acceptable and a refusal on security grounds would not be justified.
- 8.9 A S106 agreement was negotiated on the previous permission to provide a financial contribution to provide a CCTV camera, including maintenance, within the public realm and contribution to construction training. A similar legal agreement would be required in relation to this S73 application to secure the necessary obligations.
- 8.10 There have been no objections from the Local Highway Authority, Environmental Health and the Town Centre Conservation Area Advisory Committee. The proposal is considered acceptable and recommended for approval in principle with the conditions as below, subject to the finalisation of a S106 agreement.

9 CONCLUSION

- 9.1 The proposed amendment to the original planning approval N/2017/1479 is considered acceptable as a minor material amendment and would not have an undue detrimental impact on visual or residential amenity, highway safety, nearby heritage assets or site security.

10 CONDITIONS

- 1 The development hereby permitted shall be begun before the expiration of 14 November 2021.
Reason: To comply with Section 91 of the Town and Country Planning Act 1990.
- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 15005/08/001A, 100D, 101C, 102E, 104G, 105G, 106D, 114, 115C,
Reason: For the avoidance of doubt and to accord with the terms of the planning application
- 3 Details of all proposed external facing materials including the fenestration and front rendering shall first be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.
Reason: In the interests of visual amenity and to ensure that the development will harmonise with its surroundings in accordance with Policy 1 of the Central Area Action Plan and S10 of the West Northamptonshire Joint Core Strategy.
- 4 Prior to commencement of development, a Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the Local Planning Authority. The CEMP should include (but not be limited to):
- Details of the proposed construction access to the site.
 - Details of routing to /from the site.
 - Details of hours of operation and delivery times.

- Details of any wheel washing and measures to prevent the discharge of dust and other materials onto the public highway and the surrounding area. The development shall be carried out in accordance with the approved details.

Reason: In the interests of highway safety and residential amenity to accord with the aims and objectives of the National Planning Policy Framework. Pre-commencement condition to ensure details are agreed in a timely manner.

- 5 Prior to first occupation, full details of security measures to include details of external lighting to the parking and servicing area, access control to the approved units, CCTV camera to the rear of the site shall be submitted to and approved in writing by the Local Planning Authority and shall be implemented prior to the first occupation of the residential units hereby approved and retained thereafter.

Reason: In the interests of crime prevention to accord with Policy S10 of the West Northamptonshire Joint Core Strategy

- 6 Prior to the first occupation of the development hereby permitted, full details of the method of the treatment of the external boundaries of the site shall be submitted to and approved in writing by the Local Planning Authority, implemented prior to the first occupation of the residential units hereby permitted and retained thereafter.

Reason: To ensure that the boundaries of the site are properly treated so as to secure a satisfactory standard of development in accordance with Policy S10 of the West Northamptonshire Joint Core Strategy

- 7 A detailed scheme of landscaping for the site shall first be submitted to the Local Planning Authority for approval in writing. The scheme shall be carried out in accordance with the approved details and retained thereafter.

Reason: In the interests of amenity and to secure a satisfactory standard of development in accordance with Policy 1 of the Central Area Action Plan.

- 8 All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the building or the completion of the development, whichever is the sooner, and which shall be maintained for a period of five years; such maintenance to include the replacement in the current or nearest planting season whichever is the sooner or shrubs that may die are removed or become seriously damaged or diseased with others of similar size and species.

Reason: In the interests of amenity and to secure a satisfactory standard of development in accordance with Policy 1 of the Central Area Action Plan

- 9 Prior to the occupation of development and notwithstanding the submitted details, full details of facilities for the secure and covered parking of bicycles shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details and fully implemented prior to the residential development hereby approved being first brought into use and retained thereafter.

Reason: To ensure the provision of adequate facilities in accordance with Policy 1 of the Central Area Action Plan and Policy H1 of the West Northamptonshire Joint Core Strategy.

- 10 Notwithstanding the submitted details, further details of the appearance of the bin storage facilities as shown on drawing number 15005 (08) 102E shall be provided prior to the occupation of the development hereby permitted. The bin storage shall be provided in accordance with the approved details prior to occupation of the development and retained as such thereafter.

Reason: In the interests of amenity and to secure a satisfactory standard of development in accordance with Policy 1 of the Central Area Action Plan and H1 of the West Northamptonshire Joint Core Strategy.

- 11 No development shall take place until the applicant or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of archaeological research in accordance with Policy BN5 of the West Northamptonshire Joint Core Strategy. Pre-commencement condition to ensure details are agreed in a timely manner.

- 12 No development shall commence until a foul water strategy and surface water management strategy has been submitted to and approved in writing by the Local Planning Authority. No residential units shall be occupied and no hard standing constructed until the strategies have been agreed and the development carried out in accordance with these details.

Reason: To prevent environmental and amenity problems arising from flooding in accordance with Policy 5 of the Central Area Action Plan and Policy BN7 of the West Northamptonshire Joint Core Strategy. Pre-commencement condition to ensure details are agreed in a timely manner.

- 13 The car parking spaces as shown on drawing no. (08)102 Rev E shall be laid out in accordance with the approved details prior to occupation of the residential development hereby permitted and shall be retained as such thereafter.

Reason: To ensure that adequate parking facilities are maintained in accordance with Policy 10 of the Central Area Action Plan and aims of the National Planning Policy Framework

- 14 Prior to development commencing, the applicant shall submit to the Local Planning Authority an assessment of the noise exposure of habitable rooms towards the rear of the property from any external plant from the existing retail units. Noise levels shall be assessed in line with the standards set out in Northampton Borough Council's Planning Practice Guidance for noise sensitive developments. Where noise levels in any habitable room may exceed:

- Indoor habitable areas – LAeq,16H 35 dB window open, during the daytime period (07:00 – 23:00)
- Bedrooms – LAeq,8H 30 dB and LAMAX 45 dB (for 2+ events per hour) window open, during the night time period (23:00 – 07:00)

Or where the assessment identifies that whole or part of the development will fall within the LOAEL or SOAEL category, a scheme to protect any affected habitable rooms/bedrooms shall be submitted to the Local Planning Authority for written approval. For habitable rooms/bedrooms this will require the provision of a ventilation, or heat control system that enables the windows to be kept closed in warm weather. The approved scheme shall be implemented prior to the properties being occupied and retained thereafter.

Reason: In order to safeguard the amenities of future occupiers in accordance with Policy S10 of the West Northamptonshire Joint Core Strategy. This is a pre-commencement condition as it is essential that these details are agreed before construction can commence.

- 15 No development shall start on site until details have been submitted to and approved in writing by the Local Planning Authority addressing the proposed kitchen ventilation/extraction system for the existing ground floor restaurant that will be used on the site, including the required maintenance regime for the system. The details shall be prepared by a competent person for the purpose of assessing potential noise nuisance to surrounding dwellings. The details should be drawn up with regard to Guidance on the Control of Odour and Noise from Commercial Kitchen Exhaust Systems” produced by Department of Environment Food and Rural Affairs. The agreed details

shall be fully implemented before the occupation of the development hereby approved and the equipment shall be installed, operated and maintained in accordance with the approved details and shall be retained thereafter.

Reason: To ensure that the future residents are not detrimentally affected by the use of the site in accordance with Policies S10 and BN9 of the West Northamptonshire Joint Core Strategy. Pre-commencement condition to ensure details are agreed in a timely manner.

- 16 The development hereby approved shall be implemented in fully accordance with the mitigation measures contained within the applicant's Environmental Noise and Impact Assessment produced by XC02 dated October 2017.

Reason: In the interests of residential amenity to comply with Policy BN9 of the West Northamptonshire Joint Core Strategy.

11 BACKGROUND PAPERS

- 11.1 N/2019/0239 and N/2017/1479.

12 LEGAL IMPLICATIONS

- 12.1 The development is not CIL liable as the proposal does not involve any increase in floor space beyond the approved scheme.

13 SUMMARY AND LINKS TO CORPORATE PLAN

- 13.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



NORTHAMPTON
BOROUGH COUNCIL

Title: **71 - 77 Abington Street**

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Date: 20-06-2019

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PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2019/0369

LOCATION: 18 Eastfield Road, Duston

DESCRIPTION: Creation of new parking area outside of property, including dropped kerb, removal of part of grassed area and repositioning of footpath

WARD: New Duston Ward

APPLICANT: Mr Gordon Knight
AGENT: W Lee Carpentry Ltd

REFERRED BY: Head of Planning
REASON: Council owned land

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 REFUSAL for the following reason:

The proposed development would create a cumulatively detrimental impact upon the character and appearance of the street scene by introducing a development that would harmfully erode the uniform character of this part of Eastfield Road. This is considered contrary to the aims and objectives of the National Planning Policy Framework, Policy S10 of the West Northamptonshire Joint Core Strategy, E20 of the Northampton Local Plan and H5 of the Duston Neighbourhood Plan.

2 THE PROPOSAL

2.1 Permission is sought for the creation of a new parking area to the front of the property, with dropped kerb, removal of part of grassed area and re-positioning of footpath.

3 SITE DESCRIPTION

3.1 The site consists of an end terrace dwelling along a residential street in Duston of mainly brick built dwellings. The site is located on a wide, tree-lined 'avenue', characterised by substantial grassed verges and parking lay-bys creating a clear character to the area. There are matching terraced houses on each side of this section of Eastfield Road, which are set back from the road and

generally have no on-site parking provision. There is a substantial grassed strip in front of these terraced houses with a surrounding footpath.

4 PLANNING HISTORY

4.1 A similar planning application N/2008/1029 was refused for the following reason in 2008.

The development as proposed would have a detrimental impact upon the character and visual appearance of this part of the street scene in particular and the residential amenity of the immediate neighbouring properties contrary to the objectives of Policies E1 and E20 of the Northampton Borough Local Plan.

4.2 This application also involved provision of off road car parking for two cars, similar to the current scheme on land in front of the applicant's property accessed from Eastfield Road.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), Northampton Local Plan (1997) saved policies.

6 National Policies

6.1 **The National Planning Policy Framework (NPPF)** sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

- Paragraph 127 Design and residential amenity
- Paragraph 108 Safe access for all

6.2 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

6.3 Northampton Local Plan 1997 (Saved Policies)

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policy is material to this application:

E20 Design of new development

6.4 Supplementary Planning Documents

Northamptonshire Parking Standards (September 2016)
Residential Extensions and Alterations Design Guide SPD (December 2011)
Northamptonshire Local Highways Standing Advice (2016)

6.5 Other Material Considerations

Duston Neighbourhood Plan - Policy H5 Residential extensions and conversions

7 CONSULTATIONS/ REPRESENTATIONS

7.1 **Northamptonshire Highways** note the land is NBC owned. Comments are summarised as follows:

- Access width needs to be minimum width of 3 metres
- Vision splays to be 2 metres by 2 metres
- Drainage measures required
- Boundary treatment to be provided separating the driveway and adjacent foot way
- Access to be hard bound surface

7.2 **Duston Parish Council** no comment or objections.

8 APPRAISAL

Main issues

8.1 The main issues to consider are the impact on the appearance and character of the area, effect on neighbouring amenity and highway safety.

Planning Policy

8.2 The proposal should be assessed against Paragraph 127 of the National Planning Policy Framework which advocates high quality design and this is also reflected in S10 of the Joint Core Strategy, E20 of the Northampton Local Plan and H5 of the Duston Neighbourhood Plan. The Council's Supplementary Planning Guide on Residential Extensions also provides guidance on domestic alterations in respect of driveways and hard standings. The Northamptonshire Local Highways Standing Advice also provides advice on access standards for domestic properties.

Impact on appearance and character of street scene and wider area

8.3 The application site forms an end of terraced dwelling along a uniform row of similar properties with grassed area to the front, forming a positive contribution to the street scene and an established character of this part of Eastfield Road.

8.3 The proposal seeks to remove part of the raised grass verge to the front of the property and create off road parking for two vehicles. This would create an incongruous and discordant feature within what is a very distinctive streetscape, which has a clear uniformity in its character with a linear grassed area in front. As such it is considered that the proposal would be detrimental to the visual amenity and appearance of the immediate street scene, contrary to the objectives of Policy E20 of the Local Plan and S10 of the Joint Core Strategy and the NPPF.

8.4 It is acknowledged that a similar proposal was given planning permission for number 11A Eastfield Road (opposite side of the road) in 2018 under N/2018/1313, although the works have not been implemented. However, if this application were to be approved, the cumulatively impact of the developments would create substantive harm to the character of the area and it is considered that the current application could not be supported.

8.5 In addition, the applicant had permission refused 11 years ago in 2008 for creating a parking area to the front. It is considered that the circumstances have not changed, notwithstanding the approval at 11A.

Impact on neighbouring amenity

8.6 In term of neighbouring amenity, the proposal is unlikely to result in a significant loss of residential amenity to adjoining occupiers by way of loss of light, outlook, overbearing and general privacy. Given the front separation, there would be limited impact on the properties opposite.

Highway safety

- 8.7 The Local Highway Authority have commented on access in terms of vision, access width, drainage and materials of construction. The proposal complies with their comments. In terms of materials, the applicant proposes block paving or tarmac.

9 CONCLUSION

- 9.1 The proposed development would have a detrimental impact upon the character and visual appearance of this part of the street and is recommended for refusal.

10 BACKGROUND PAPERS

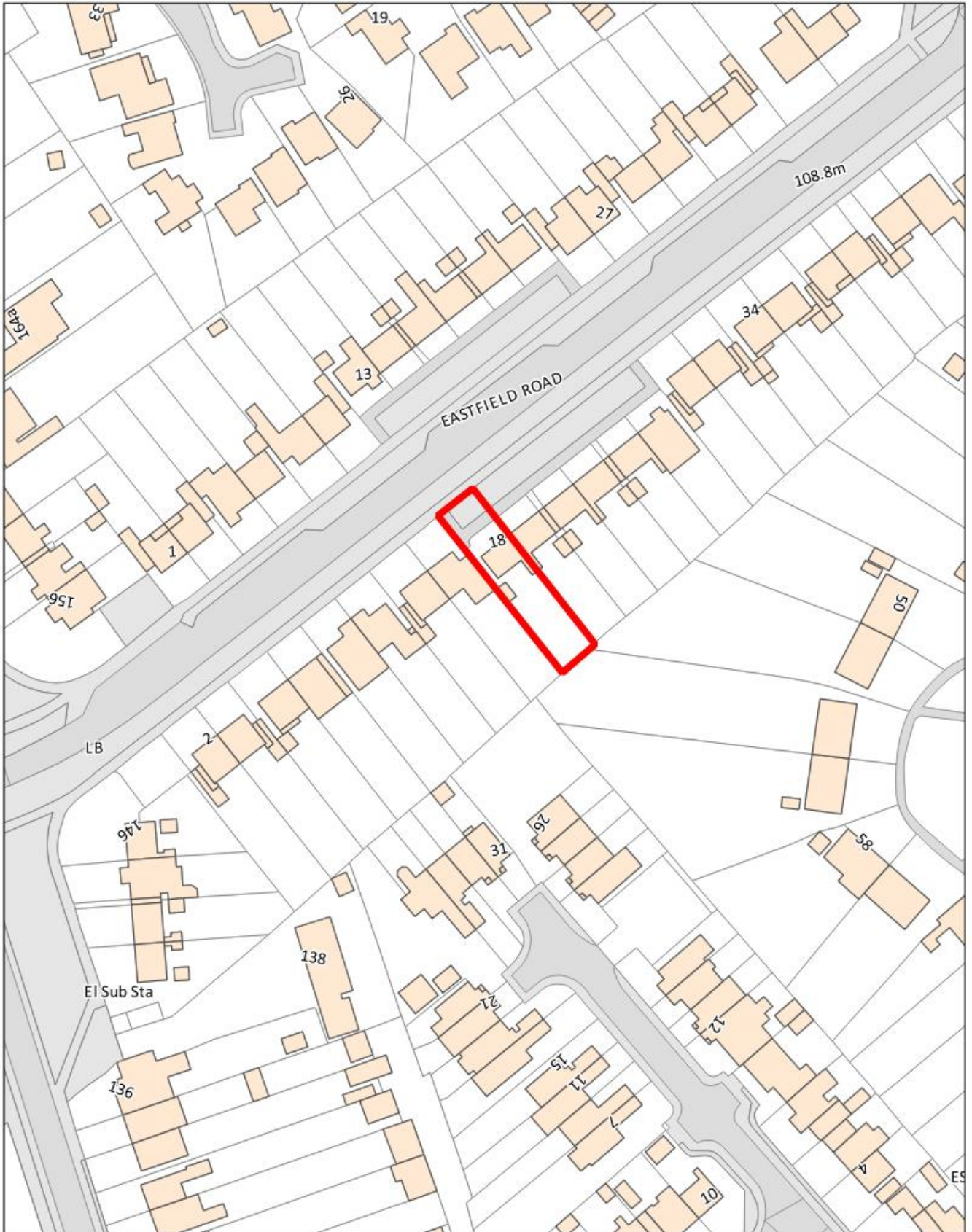
- 10.1 N/2019/0369.

11 LEGAL IMPLICATIONS

- 11.1 The development is not CIL liable.

12 SUMMARY AND LINKS TO CORPORATE PLAN

- 12.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



Title: **18 Eastfield Road**

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Date: 20-06-2019

Scale: 1:1,000

Drawn by: -----



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2019/0401

LOCATION: Rectory Farm Farmhouse, Olden Road

DESCRIPTION: Extension to existing educational building and perimeter fencing

WARD: Rectory Farm Ward

APPLICANT: Billing Brook School Academy Trust
AGENT: Sursham Tompkins & Partners

REFERRED BY: Head of planning
REASON: Council owned land

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposed development would support education facilities and, as part of a balanced assessment, is considered acceptable subject to conditions. As such, no objections are raised with regards to the National Planning Policy Framework; Policies S10, RC2, E6, and BN9 of the West Northamptonshire Joint Core Strategy and Saved Policies E20 and R9 of the Northampton Local Plan.

2 THE PROPOSAL

- 2.1 The application seeks planning permission for an extension to the existing building and perimeter fencing to facilitate the use of the site for the expansion of Billing Brook School.
- 2.2 The proposed extension would be located to the north western rear corner of the existing building. It would be single storey with a gabled roof and measure 6.4 metres in width, 14.3 metres in depth and a maximum of 5.1 metres in height.
- 2.3 The new fencing which is the subject of the application would comprise 2.4 metre high wire mesh fencing located along both the western boundary of the site with properties on Lowlands Close and the eastern boundary of Rectory Farmhouse with the parking and open space that is shared with the community centre.

- 2.4 The submitted plans also show new 2 metre high solid timber close boarded fencing to the frontage of Rectory Farmhouse with the playing field footpath and 2 metre wire mesh fencing to the footpath to the eastern boundary of the site. However, these works would fall within permitted development rights and therefore the planning merits of these works do not fall for consideration under this application.
- 2.5 The application has been amended since its submission to reduce the height of the extension and set it further in from the boundary with No 54 Lowlands Close. In addition, the proposed fencing has been revised with the wire meshing fencing to the side boundaries of Rectory Farmhouse reduced in height from 6 metres to 2.4 metres.

3 SITE DESCRIPTION

- 3.1 The application site forms part of the Rectory Farm Local Centre and contains Rectory Farmhouse, an attractive detached two storey building set in a spacious plot. It benefits from a line of mature trees running along the eastern boundary of the site and also a belt of trees running along the rear boundary. The site is open to car parking and open space shared with Rectory Farm Community Centre to the east and fronts onto Rectory Farm Playing Field to the south. The site neighbours residential properties on Lowlands Close to the western side and northern rear boundaries. Overall, the site has an open feel and a parkland character.
- 3.2 The application property does not benefit from any recent planning history. Although, it is understood that it has previously been used by various community groups including the Indian Hindu Welfare Organisation, the Police and by Community Spaces Northampton as an ancillary office to the community centre in the Rectory Farm Community Centre.

4 PLANNING HISTORY

- 4.1 None relevant.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), and Northampton Local Plan (1997) saved policies.

5.2 National Policies

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

Paragraphs 7-12 - Presumption in favour of sustainable development.

Paragraph 127 - Create places with a high standard of amenity for existing and future users.

Section 8 - Promoting healthy and safe communities.

Section 9 - Promoting sustainable transport

Section 12 - Achieving well-designed places.

Section 15 - Conserving and enhancing the natural environment

5.3 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

S10 - Sustainable Development Principles
BN9 - Pollution Control
RC2 - Community Needs
E6 - Education, skills and Training

5.4 **Northampton Local Plan 1997 (Saved Policies)**

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policies are material to this application:

E20 - New development (design)
R9 - District and local centres

5.5 **Supplementary Planning Documents**

Northamptonshire Parking Standards (September 2016)
Planning out Crime in Northamptonshire SPG 2004

6 **CONSULTATIONS/ REPRESENTATIONS**

Comment received are summarised as follows:

6.1 **Environmental Protection (NBC):**

- The extension would be in close proximity to residential properties and no windows or openings should be introduced to the façade which sits along the border with No 54 Lowlands to prevent noise break out.
- No external plant is shown on the plans; any plant should not be sited on the side neighbouring residential properties and should be set more centrally within the development and conform to specific noise levels.
- One of the proposed building room end uses is annotated as a kitchen, but the application does not give an indication of the numbers of meals being prepared and cooked in this room and how the kitchen will be ventilated. Further information regarding this is sought together with details of odour control to ensure that the amenity of the surrounding residents is not compromised by any new end use of the building.
- Restrictions should be placed on construction hours.

6.2 **Three letters of objection** were received to the application as originally submitted which raised the following points:

- Entrance to the building should be kept to the community centre side to limit disturbance to neighbours.
- The extension has been unnecessarily placed on the wrong side of the building.
- Extension will impact on light received by neighbours, its proximity would present security and privacy issues due to children climbing on its roof, the kitchen would generate noise and odour, fire safety issues, and encourage vermin in the area.
- Fencing 6 metres in height is excessive and would create the feel of a prison and block light from neighbours.
- The building has historically suffered with issues of anti-social behaviour and vandalism.

6.3 Following the receipt of amended plans, one representation has been submitted which details that the revised plans are acceptable.

6.4 In addition, a further representation has been submitted following the receipt of the amended plans which objects to the principle of the educational use of the site on the basis of noise and property values/saleability.

7 APPRAISAL

Principle of development.

- 7.1 The application site is in a local centre and has previously been used for various community uses such that an education use would be in line with the established use of the property.
- 7.2 In addition, Policy E6 of the Joint Core Strategy encourages education facilities. Furthermore, Paragraph 94 of the NPPF details that it is important to ensure that a sufficient choice of school places is available to meet the needs of existing and new communities and that Local Planning Authorities should give great weight to the need to create, expand or alter schools. The principle of an extension and ancillary works to support a school use on the site is therefore also acceptable.

Design and layout

- 7.3 Saved Policy E20 of the Local Plan and the guidance in the NPPF advise that planning should always seek to secure high quality design.
- 7.4 The application property comprises an attractive detached building of stone and brick construction with strong gable and window features in a parkland setting. The application as originally submitted proposed a deep single storey extension close to the boundary with No 54 Lowland Close and a steep roof pitch to match the existing dwelling. However, to limit the impact on neighbours and create a sense of space around the building, the application has been amended to set the extension some 2 metres in from the common boundary and reduce its roof pitch. Whilst the roof pitch would no longer match the existing dwelling, due to the siting of the extension to the rear corner of the property and the single storey scale of the proposed development, it is considered that it would not appear unduly prominent in the streetscene.
- 7.5 Turning to the proposed means of enclosure of the site, the application proposes 2.4 metre wire mesh fencing to the side boundaries of Rectory Farmhouse with the car park and properties on Lowlands Close. The wire mesh fence would retain a sense of openness to the site and also ensure that the rear part of the school is secure. The submitted plans also show sections of 2 metre high fencing to both the frontage of the site with the playing field and to the footpath to the east of the site, however these works would benefit from permitted development rights. As such, it is considered that objections could not be sustained to the proposed means of enclosures.
- 7.6 Overall, and subject to conditions relating to materials for the extension and preventing alterations to the boundary treatments, it is considered that the proposal would not have an adverse impact on the character and appearance of the area.

Residential amenity

- 7.7 Saved Policy E20, Policy BN9 of the of the Joint Core Strategy and the guidance in the NPPF all seek to secure a good standard of amenity for all existing and future occupants of land and buildings.
- 7.8 In respect of the amenity of neighbours, the application has been amended to set the extension further in from the boundary with No 54 Lowland Close and reduce its roof height. As such, and although the extension is relatively deep, it is considered that it would not have unduly prominent or enclosing effect on this neighbour. Furthermore, due to its single storey scale, the proposed extension would not result in a loss of privacy. The initial neighbour concerns and the comments of the Environmental Health Officer regarding the potential impact of the kitchen are noted. However, the applicant has indicated that the kitchen would be of domestic scale to reflect the limited number of pupils that the school could accommodate and the proposal does not include openings in the flank wall facing No 54 Lowlands Close. Furthermore, a condition could be imposed preventing the installation of any windows or kitchen vents in this flank elevation. In

addition, a kitchen could be accommodated in the existing building without requiring planning permission. In any event, any external flues or plant would require planning permission in their own right and this matter can be addressed by condition. As such, it is considered that the proposed extension would not have an adverse impact on the residential amenity of any neighbouring property.

- 7.9 In respect of the new enclosures, the fencing along the western boundary has been reduced from 6 metres to 2.4 metres in height. Whilst this is higher than the 2 metre fencing that would be allowed under permitted development rights, it is required as a ball stop and the fencing would be of wire mesh construction such that it would allow views and light through. As such, it is considered that it would not appear unduly prominent or overbearing when viewed from neighbouring properties on Lowlands Close.
- 7.10 Overall, it is considered that the proposal would not give rise to an unacceptable impact with regard to the amenities of neighbours and would afford an acceptable standard of amenity for future occupiers of the site.

Other considerations

- 7.11 The proposed extension is for a dining and kitchen area and, as such, it would have no parking or highway safety implications.
- 7.12 The Environmental Health Officer has requested a condition relating to construction hours, however this would not be reasonable as the proposal is only for a single storey extension with fencing and there are controls under the Environmental Health and Highway legislations to address issues arising from such small construction site should they arise.

8 CONCLUSION

- 8.1 The proposed development would support the expansion of education facilities and, as part of a balanced assessment, is considered acceptable subject to conditions. As such, no objections are raised with regards to the National Planning Policy Framework; Policies S10, RC2, E6, and BN9 of the West Northamptonshire Joint Core Strategy and Saved Policies E20 and R9 of the Northampton Local Plan.

9 CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: PL00A, PL01D, PL02B, PL03B, PL04B, PL05B, PL06C, PL07C, and PL08C.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. The external walls and roof of the extension shall be constructed with materials of the same type, texture and colour as the external walls and roof of the existing building.

Reason: In the interests of visual amenity in accordance with Saved Policy E20 of the Northampton Local Plan.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no windows, doors, boiler flues, kitchen extract vents or roof lights shall be installed in the western side elevation of the proposed extension.

Reason: To safeguard the privacy of adjoining properties in accordance with Saved Policy E20 of the Northampton Local Plan.

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), the proposed 2.4 metre high wire fencing shall be installed in accordance with the approved details and no alterations shall take place to this approved fencing thereafter.

Reason: In the interests of visual amenity and to safeguard the amenities of neighbouring properties in accordance with Saved Policy E20 of the Northampton Local Plan.

10 BACKGROUND PAPERS

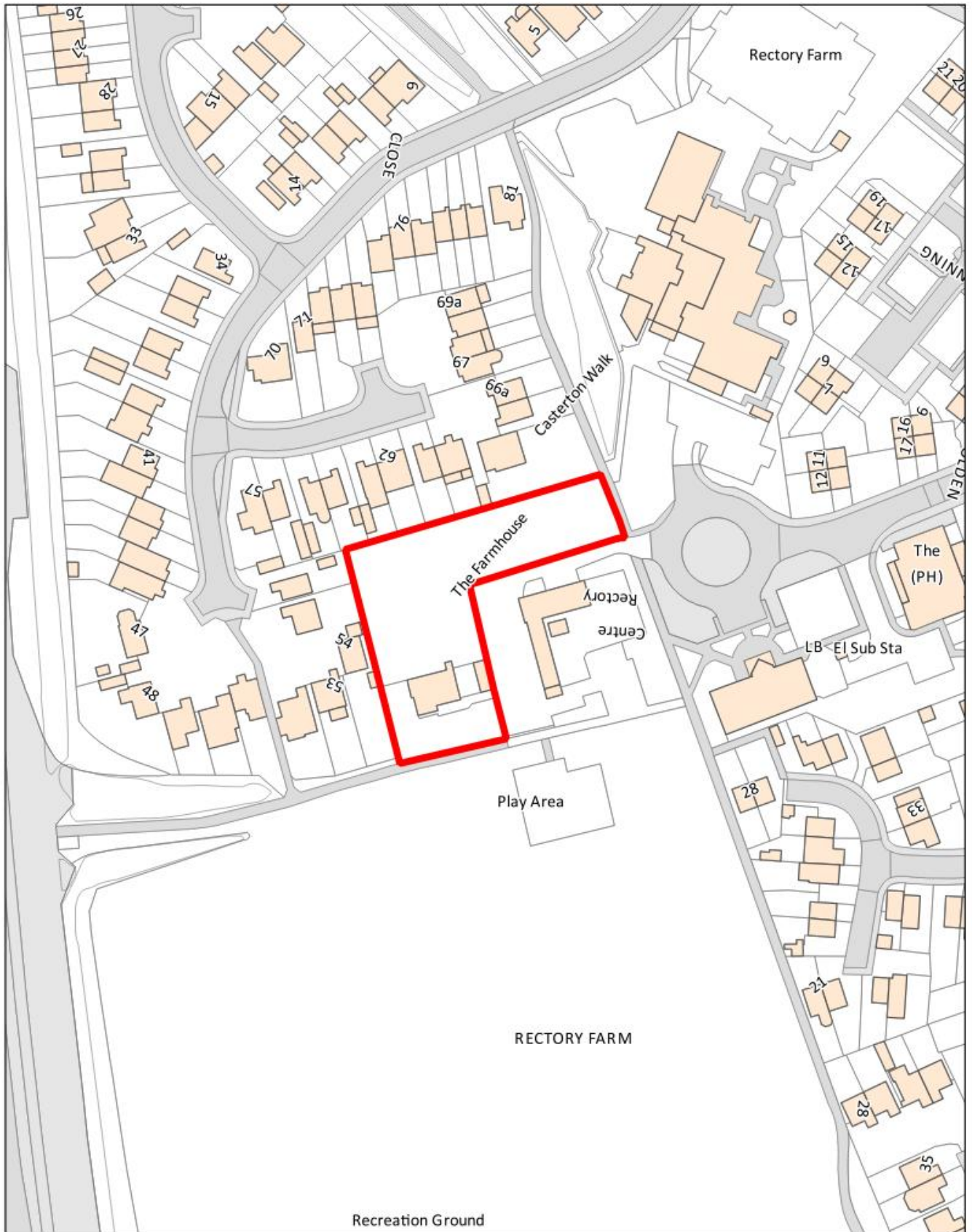
- 10.1 N/2019/0401

11 LEGAL IMPLICATIONS

- 11.1 The development is CIL liable

12 SUMMARY AND LINKS TO CORPORATE PLAN

- 12.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



Title: **Rectory Farm Farmhouse, Olden Road**

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Date: 20-06-2019

Scale: 1:1,250

Drawn by: -----



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2019/0478

LOCATION: 109 Lea Road

DESCRIPTION: Change from House in Multiple Occupation (Use Class C4) for 5 occupants to House in Multiple Occupation (Use Class C4) for 6 occupants (Amendment to Planning Permission N/2018/1149)

WARD: Abington Ward

APPLICANT: VK Property Stream Limited
AGENT: Architectural Solutions

REFERRED BY: Head of Planning
REASON: Objector is a Council employee

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposed development for one additional occupant would not significantly intensify the proposed use of the property as a house in multiple occupation. It is considered that the proposal is acceptable as the property would provide adequate facilities for future occupants and would not be at risk from flooding. Notwithstanding existing parking conditions in the local area, the site is in a sustainable location close to a Local Centre, bus services and amenities and would provide adequate facilities for cycle storage and refuse storage. The proposal thereby complies with the National Planning Policy Framework; Policies H1, H5, BN7 and S10 of the West Northamptonshire Joint Core Strategy; Policies E20 and H30 of the Northampton Local Plan; and the Council's Houses in Multiple Occupation Interim Planning Policy Statement (IPPS).

2 THE PROPOSAL

2.1 Permission is sought to change a recently approved House in Multiple Occupation (Use Class C4) from 5 occupants to 6 occupants. The approval has already been implemented and the use of the property as a 5 persons HIMO is authorised.

- 2.2 The lounge on the previous scheme has been omitted from the ground floor layout and replaced by a proposed bedroom. The rest of the existing layout would remain unchanged which includes basement storage, ground floor kitchen measuring 11.5 square metres, 2 single ground floor bedrooms, 3 first floor bedrooms and a second floor bedroom (in the loft). Bedrooms 1, 2 and 5 have en-suites and there is a separate shower room/toilet on the first floor adjacent to bedroom four.

3 SITE DESCRIPTION

- 3.1 The application site comprises a terraced property on Lea Road located in a residential area with similar terraced properties on the street. The site is in close proximity to Kettering Road, which includes retail and commercial units. The site is close to bus routes on Kettering Road. The application site lies in Flood Zone 1, which means very low risk of flooding.

4 PLANNING HISTORY

- 4.1 N/2018/1149 Permission granted, and implemented for a 5 occupant HIMO.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), Northampton Local Plan (1997) saved policies.

6 National Policies

- 6.1 **The National Planning Policy Framework (NPPF)** sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

- 6.2 Paragraphs 72 (c) - ensure that a variety of homes to meet the needs of different groups in the community will be provided.

- 6.3 Paragraph 127 (f) - seeks to create safe and healthy places with a high standard of amenity for existing and future users.

6.4 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

Policy H1 - Housing Density & Mix & Type of Dwellings

Policy H5 - Managing the Existing Housing Stock

Policy S10 - Sustainable Development Principles

Policy BN7- Planning and Flood Risk

6.5 Northampton Local Plan 1997 (Saved Policies)

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policies are material to this application:

Policy E20 - New development
Policy H30 - Multi occupation with a single dwelling

6.6 **Supplementary Planning Documents**

Northamptonshire Parking Standards (September 2016)
Planning out Crime in Northamptonshire SPG 2004

6.7 **Other Material Considerations**

Houses in Multiple Occupation (HIMO) Interim Planning Policy Statement (IPPS) (November 2014)

Proposals for HIMOs should:

- Result in a balanced and mixed community and protect the physical character of the street and neighbourhood as a whole, by not resulting in a concentration of similar uses, a material change or adverse impact on the character of the area, or more than 15% of HIMOs within a 50 metre radius.
- Secure the provision of adequate facilities, amenities and minimise flood risk;
- Promote use of public transport, cycling and walking and secure provision of adequate parking;
- Ensure provision of adequate storage for refuse and materials for recycling.

7 **CONSULTATIONS/ REPRESENTATIONS**

Comments received are summarised as follows:

7.1 **NBC Private Sector Housing** will require a License, the room sizes indicate that the proposal would meet requirements of 6 person HIMO.

7.2 **Northamptonshire Highways** Object; as there is no residual parking capacity in the area and any increase in demand will increase the instances of illegal parking. The LHA considers that any impact will compromise highway safety to be a severe developmental impact. Although in isolation, it is argued that the cumulative impact of minor developments such as this need to be considered as a whole. In conclusion, raise objection due to lack of residual parking capacity, the increase in parking demand will increase dangerous parking, putting all road users at risk and is seen as a severe developmental impact.

7.3 Three neighbour objections summarised as follows:

- Object to serious parking issues in area
- Concern over number of HIMOs on the street
- Concerns over fly-tipping and litter accumulating
- Impact on anti-social behaviour
- Noise and disturbance
- Concerns on area becoming a ghetto

8 **APPRAISAL**

Principle of the development

8.1 The application property has planning permission for operating as a HIMO for 5 occupants and therefore the principle of the use of the property as a HIMO is established. The primary consideration, therefore, is whether the intensification in the use of the property from 5 to 6 people would provide a satisfactory standard of accommodation for future occupiers, and whether this increase would harm the amenities of the surrounding properties and the highway system.

Area concentration

8.2 As the property is an existing HIMO, the area concentration is no longer a material consideration.

Size of property and facilities for future occupiers

- 8.3 Policy H30 of the Local Plan, although dated, is in line with the aims of NPPF in respect of the provision of adequate amenity for proposed occupiers and requires HIMOs to be of sufficient size to accommodate the proposed use. The property is considered to be of sufficient size, providing room sizes in accordance with the Council's HIMO IPPS. A condition restricting the use of the property to a maximum of 6 people would ensure over-development does not occur. Private Sector Housing have confirmed that the room sizes, amenities and facilities indicated on the submitted plans indicate that the proposals would meet the requirements for a 6 occupant HIMO. All bedrooms would be served by adequate outlook and light. The application property has a basement storage area and a condition is recommended to prevent it becoming a habitable room. Even though the existing lounge would be removed, all other room sizes are acceptable, and this arrangement is not uncommon and has been supported by Private Sector Housing.

Flood Risk

- 8.4 The application site is located in Flood Zone 1 and with very low risk of flooding.

Highways/Parking

- 8.5 The Interim Planning Policy Statement for HIMOs (IPPS) sets out clearly that where limited or no parking provision is proposed, the site must be either within 400m of a bus stop, or within walking distance of a district centre, local centre or neighbourhood parade. Only outside such locations is parking required to be provided.
- 8.6 The application property is located within easy walking distance to facilities along Kettering Road and Wellingborough Road. It is considered that the application site is in a sustainable location within 250 metres of bus stop and within walking distance of local facilities on Kettering Road, Abington Avenue and Wellingborough Road. In this regard, the proposal is considered to be in accordance with the requirements of the IPPS in respect of parking considerations. Within such areas, the IPPS recommends that storage space should be provided which is accessible to cycle users. Cycle storage can be agreed by condition.
- 8.7 The proposal is in compliance with this principle of the IPPS. However, a further consideration in respect of parking is the Northamptonshire Parking Standards. This document was adopted in September 2016, after the IPPS. The Northamptonshire Parking Standards state that Houses in Multiple Occupation shall provide on plot parking at the ratio of one parking space per bedroom. The proposed development will produce a demand for 1 additional space then the current approved use of the property as a HIMO for 5 people. In this case, the Highway Authority object to the proposal because the potential impacts on highway safety are considered severe, and concern is raised regarding the potential negative impacts of an increase in parking demand on the amenity of neighbouring residents.
- 8.8 There is no evidence to support that all the residents would own cars. Given that only one additional occupant is proposed and the sustainable location of the property, it is not considered that a refusal on highway grounds could be upheld at appeal. Furthermore, regard must be paid to recent appeal decisions over the past few months where Planning Inspectors have consistently taken the view that where a site is close to local amenities and public transport, and no parking is provided, considerable weight has been given to the sustainable location of the site, and the appeals concerned have been allowed. Indeed, some Inspectors have taken the view that proposed occupiers in recognising the lack of parking provision and proximity to amenities, may choose the location for this purpose and not wish to have cars.

Refuse storage

- 8.9 Details have been submitted for refuse storage, which are deemed acceptable. A condition has been recommended to retain the arrangement and provision.

Amenity

- 8.10 The proposed use falls within Use Class C4, which in effect categorises this as a residential use. There is no evidence to demonstrate that the proposal would generate adverse amenity impacts such as noise or anti-social behaviour over and above those created by a more conventional C3 dwelling. Consequently, it is not considered that a refusal of planning permission, or the imposition of conditions in relation to amenity issues would be reasonable or sustainable at appeal.

9 CONCLUSION

- 9.1 The proposed increase in the number of occupants from 5 to 6, will not lead to significant adverse impacts on neighbouring amenity or parking provision and the property is of sufficient size to accommodate the level of accommodation as proposed. The proposal will accord with the relevant requirements of both national and local planning policy and guidance. The proposed development is recommended for approval subject to the following conditions.

10 CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: 18/K81/11 and 12.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. The development hereby permitted shall be occupied by a maximum of 6 residents at any one time.

Reason: In the interests of the amenity of the proposed occupiers and the surrounding area in accordance with Policy H1 and H5 of the West Northamptonshire Joint Core Strategy.

4. The bin storage area shall be implemented in accordance with the details on the approved plan within two months of the date of this permission and retained thereafter.

Reason: In the interests of amenity and to secure a satisfactory standard of development in accordance with Policies H1 and H5 of the West Northamptonshire Joint Core Strategy and the National Planning Policy Framework.

5. The existing basement shall not be used as a bedroom at any time throughout the lifetime of the development as a house in multiple occupation.

Reason: In the interests of residential amenity to comply with Policies H1 and H5 of the West Northamptonshire Joint Core Strategy.

6. Prior to the occupation of bedroom 6 as shown on the approved plan, full details of facilities for the secure and covered parking of bicycles shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details and fully implemented prior to bedroom 6 is used for its permitted purpose and retained thereafter.

Reason: In the interests of amenity and to secure a satisfactory standard of development in accordance with Policies H1 and H5 of the West Northamptonshire Joint Core Strategy and the National Planning Policy Framework.

11. BACKGROUND PAPERS

11.1 N/2019/0478

12. LEGAL IMPLICATIONS

12.1 The development is not CIL liable

13. SUMMARY AND LINKS TO CORPORATE PLAN

13.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2019/0182

LOCATION: Garage 1 Lock Up Garages, Stockley Street

DESCRIPTION: Demolition of 38no domestic garages and erection of 5no dwellings with associated parking

WARD: Castle Ward

APPLICANT: Northampton Partnership Homes
AGENT: Baily Garner LLP

REFERRED BY: Head of Planning
REASON: Council owned land

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposal would contribute towards the Council's five year housing land supply and, as part of a balanced assessment, it is considered to be acceptable. As such, subject to conditions, no objections are raised with regards to the requirements of the National Planning Policy Framework, Policies S1, S10, H1, BN5 and BN9 of the West Northamptonshire Joint Core Strategy, and Saved Policies E20 and E26 of the Northampton Local Plan.

2 THE PROPOSAL

2.1 The application seeks full planning permission for the demolition of thirty eight existing garages and the erection of five dwellings with associated parking.

2.2 The new dwellings would all be two bed houses with gabled roof forms and would specifically comprise three terraced properties fronting Palmerston Road and two semi-detached properties fronting Stockley Street. The terraced properties would each measure 4.5 metres in width, 10.6 metres in depth and 8.5 metres in height. The semi-detached properties would each measure 4.7 metres in width, 9.6 metres in depth and 8.2 metres in height.

2.3 In addition, the proposal would include the creation of 10 parking spaces.

- 2.4 The scheme has been amended since its submission to remove a unit, to retain the trees lining St Edmonds Street and re-orient the semi-detached properties to front Stockley Street.

3 SITE DESCRIPTION

- 3.1 The application site is located to the north of Stockley Street, between Palmerston Road to the west and St Edmonds Street to the east, and neighbours the Boot and Shoe Quarter Conservation Area. It comprises two garage courts containing thirty eight flat roofed garages which are set either side of an access road that serves parking areas to the rear of properties on Palmerston Road and Stockley Street. Land levels fall from west to east across the site and there are established trees to the eastern boundary with St Edmond Street and the south east part of the frontage with Stockley Street.

4 PLANNING HISTORY

- 4.1 None relevant.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), and Northampton Local Plan (1997) saved policies

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities when considering development to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area.

5.2 National Policies

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

Paragraphs 7-12 - Presumption in favour of sustainable development.

Paragraph 60 - Housing needed for different groups in the community.

Paragraph 127 - Create places with a high standard of amenity for existing and future users.

Section 8 - Promoting healthy and safe communities.

Section 9 - Promoting sustainable transport

Section 12 - Achieving well-designed places.

Section 16 – Conserving and enhancing the historic environment

5.3 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

Policy S1 - The Distribution of Development

Policy S10 - Sustainable Development Principles.

Policy H1 - Housing

Policy BN5 - Historic Environment and Landscape

5.4 **Northampton Local Plan 1997 (Saved Policies)**

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policies are material to this application:

Policy E20 - New Development (Design)

Policy E26 - Conservation Areas

5.5 **Supplementary Planning Documents**

Northamptonshire Parking Standards (September 2016)

Planning out Crime in Northamptonshire SPG 2004

6 **CONSULTATIONS/ REPRESENTATIONS**

Comment received are summarised as follows:

- 6.1 **Arboricultural Officer (NBC)** – The London plane tree that overhangs St Edmund's Street is very attractive and its removal would be a massive loss to the local landscape. However, the site layout has been revised to retain this tree and a revised arboricultural report will be required that includes a tree protection plan and arboricultural method statement.
- 6.2 **Conservation Officer (NBC)** – The site was omitted from the Boot & Shoe Quarter Conservation Area since the garages do not contribute to the historic character of the area. Replacement with terraced houses would be more in keeping with its character and appearance.
- 6.3 **Public Protection (NBC)** – No objections subject to land contamination conditions and advisory notes relating to hours of construction and the Council's Low Emission Strategy.
- 6.4 **Northamptonshire Police Crime Prevention Design Advisor** - This new layout enables some overlooking of the parked vehicles to the side of dwelling on Stockley Street and this pair of houses have secure rear gardens. The piece of land to the right hand side of the pair of houses should be fully landscaped to remove opportunities for fly tipping and other inconsiderate uses.

The dwellings facing onto Palmerston Road have none of the benefits associated with the pair of houses, their rear garden boundaries are exposed and the car parking is not visible from within the dwellings. It would be helpful if the rear garden fences were supplemented with a trellis topping to reduce opportunities for climbing and the rear garden gates should be key lockable operable from both sides for convenience.

- 6.5 **Highway Authority (NCC)** – Advised that the original plans needed to be amended to run a footway on each side of the road running through the centre of site (Officer Note: Plans amended to include a footway but to date no revised comments received from Highways).
- 6.6 **One third party objection letter** was received to the application as originally submitted. The letter included the following concerns:
- A safe play area should be created for local children; there is a shortage of play facilities in the area and ideally the site would be used for a mixture of housing and play space.
 - The loss of a seating area and flowerbed, which add to local amenity, is unnecessary.
 - Object to the loss of a London plane tree to St Edmonds Street and would also prefer that the three whitebeam trees on Stockley Street be retained.

7 **APPRAISAL**

Principle of development

- 7.1 The application site is located in a designated residential area and would comply with Policy S1 of the Joint Core Strategy, which details that development should be concentrated primarily in and adjoining the principal area of Northampton.
- 7.2 In addition, the site comprises land that has been previously developed and thus the redevelopment of such brownfield land is encouraged under the NPPF
- 7.3 However, the Council cannot presently demonstrate a five year housing land supply. Therefore, in accordance with the presumption in favour of sustainable development in Paragraph 11 of the NPPF, development should be permitted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits. The development of the site for five dwelling would contribute, albeit on a small scale, towards the Council's housing supply with associated social and economic benefits and this therefore weighs in favour of the proposal.

Layout, design and heritage

- 7.4 Saved Policy E20 of the Northampton Local Plan and Policy H1 of the Joint Core Strategy place great importance on the quality of design of new developments and is in conformity with the NPPF which advises that planning should always seek to secure high quality design. In addition, as the site neighbours a Conservation Area, special attention must be paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, with great weight given to the conservation of the heritage asset.
- 7.5 The application site is located in a predominantly residential area and contains two garage courts located at the end of rows of terrace houses: a western garage court neighbouring Palmerston Road and Stockley Street; and an eastern garage court neighbouring Stockley Street and St Edmonds Street. The garage courts are separated from the neighbouring roads by narrow areas of landscaping including a bench and flowerbeds to Palmerston Road, three trees to Stockley Street and two trees to St Edmond Street.
- 7.6 The proposal would replace the garages and landscaping to the western part of the site with a terrace of three houses that would front onto Palmerstone Road with parking to the rear and thus continue the existing established pattern of development, although the new terrace would have an unusual set back from the footway and a deeper gabled plan form than is characteristic of its neighbours. However, given that the site comprises the southern end of the street and that the new properties would not adjoin onto the existing terrace, it is considered that the relationship between the existing and proposed terrace properties would be acceptable. In addition, it is noted that the new terrace would only have limited features in its flank gable facing Stockley Street. However, the new terrace has been amended to introduce a window serving a habitable room into the Stockley Street elevation and to allow a meaningful strip of landscaping which would soften the appearance of the development.
- 7.7 Turning to the eastern part of the site, the application originally proposed three terraces mirroring the development to the western part of the site. However, concerns were raised regarding the loss of the London plane tree to St Edmunds Street and also regarding the poor relationship of the development to Stockley Street and lack of surveillance of the new parking areas. As such, the development has been amended to omit a unit and rotate the new semi-detached properties to face onto Stockley Street. This has allowed the retention of the trees to St Edmonds Street and also created an active frontage to Stockley Street, which also helps offset the impact of the limited details in the flank gable of the new terraced properties as previously noted. In addition, these new semi-detached properties contain flank windows and thus would afford surveillance to St Edmond Street and the new parking areas.
- 7.8 In respect to the impact of the development on heritage assets, the Conservation Officer has advised that the site was omitted from the Boot and Shoe Quarter Conservation Area since the garages do not contribute to the historic character of the area. As such, it is considered that the replacement of the garages with houses would be more in keeping with the character and appearance of the neighbouring Conservation Area.

- 7.9 Overall, and subject to conditions relating to floor levels, materials, boundary treatments, external lighting, tree protection and landscaping, it is considered that the proposal would not have an adverse impact on the character and appearance of the area or the Boot and Shoe Quarter Conservation Area.

Residential amenity

- 7.10 Saved Policy E20 of the Northampton Local Plan, Policy H1 of the Joint Core Strategy and the NPPF all seek to secure a good standard of amenity for all existing and future occupants of land and buildings.
- 7.11 The new terrace properties in the western part of the site would be located to the side of No 52 Palmerston Road with a relatively deep side gable. However, No 52 Palmerston Road does not benefit from any windows in its side gable and it has a single storey rear projection of similar depth to the proposed development. Furthermore, whilst there is a first floor flank window in the rear outrigger serving No 52 Palmerston Road, this window is obscure glazed. As such, and subject to conditions requiring details of finished floor level and restricting first floor glazing in the northern side elevation of the new terrace, it is considered that the new terraces would not have an adverse impact on the residential amenity of this or any other neighbouring property.
- 7.12 The new semi-detached properties in the eastern part of the site would back onto the side gable of No 52 St Edmonds Road with a separation distance of some 12 metres. However the side gable of No 52 St Edmonds Road does not benefit from any windows and this neighbouring property also does not benefit from a private amenity area. As such, it is considered that the proposal would not have an adverse impact on the residential amenity of this or any other neighbouring property.
- 7.13 In respect of the amenity of future occupiers of the new dwellings, all habitable rooms would be served by windows with good levels of outlook. In addition, it is considered that the amount of outdoor amenity space would be appropriate for the type of dwelling and that there would adequate provisions for bin storage. As such, it is considered that the proposal would afford an acceptable standard of amenity for future occupiers of the site.
- 7.14 Overall, it is considered that the proposal would not give rise to an unacceptable impact with regard to the amenities of neighbours and would afford an acceptable standard of amenity for future occupiers of the site.

Parking and highway safety

- 7.15 The County Parking Standards seek 2 on plot parking space per dwelling for 2 bed properties. The proposal is for 5 x 2 bed properties and the scheme would provide 10 parking spaces such that it would meet the Parking Standards. In addition, the submitted plans show sheds to serve the new dwelling and these could serve as cycle stores and be secured by condition.
- 7.16 The new houses would utilise an existing access running through the centre of the site and the application has been amended to include footways to address the comments of the County Highway Engineer. As such, and given that the proposal meets the County Parking Standards, it is considered that the proposal is acceptable with regards to highway safety.

Other considerations

- 7.17 The Council's Environmental Health Officer recommends a condition to address ground contamination should planning permission be forthcoming.
- 7.18 In addition, the Environmental Health Officer has provided guidance regarding the Council's Low Emission Strategy and construction hours. In this respect, matters relating to the energy efficiency of buildings are addressed under the Building Regulations. As all new properties have to comply with these, the proposal complies with Policy S10 of the JCS. With respect to construction hours,

the proposal is only for a small-scale development and there are controls under the Environmental Health and Highway legislations to address issues arising from such small construction site should they arise.

- 7.19 It is noted that a local resident has sought a play area on the site. However, there is no planning policy basis to require such facilities for development of this small-scale.

8 CONCLUSION

- 8.1 To conclude, the site is in an existing housing area within the urban area of Northampton and the principle of residential development on the site is therefore acceptable under the development plan. However, the Council cannot presently demonstrate a five year housing land supply and it is therefore necessary to assess the proposal against the presumption in favour of sustainable development. In this instance, the proposal would comply with the development plan, result in the reuse of a brownfield site and would contribute, albeit on a small scale, towards the Council's housing supply with associated social and economic benefits. Furthermore, subject to conditions, no harm has been identified that would significantly and demonstrably outweigh the benefits. Therefore, it is recommended that planning permission is granted subject to conditions.

9 CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: (P)01, (P)02, (P)03B, (P)04A (Semi-detached Floor Plans), (P)05B (Semi-detached elevations), (P)04A (Terraced Floor Plans), (P)05A (Terraced Elevations), (P)06A and SCH-002.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. The construction of the development hereby permitted shall not take place until a desk top study in respect of possible contaminants within the site is completed and a site investigation has been designed. The scope and methodology of the desk top study and the site investigation report shall be submitted to and approved in writing by the Local Planning Authority. The site investigation and appropriate risk assessments shall be carried out and the results shall be used to produce a method statement for the necessary remedial works (and a phasing programme), which shall be submitted to and approved in writing by the Local Planning Authority. All remedial works shall be fully implemented in accordance with the approved method statement and phasing programme. Confirmation of the full implementation of the scheme and validation report(s) shall be submitted to the Local Planning Authority within 2 weeks of completion (or within 2 weeks of completion of each respective phase).

Reason: To ensure the effective investigation and remediation of contaminated land sites and in the interests of health and safety and the quality of the environment in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy. Pre-commencement condition to ensure details are agreed in a timely manner and to ensure a satisfactory standard of development.

4. Prior to the construction of the new dwellings hereby permitted, details of the existing and proposed ground levels and finished floor levels of the development shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the development shall be implemented in accordance with the approved details.

Reason: In the interests of residential and visual amenity in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy. Pre-commencement condition to ensure details are agreed in a timely manner and to ensure a satisfactory standard of development.

5. Prior to the construction of the new dwellings hereby approved above ground floor slab level, details of all proposed external facing materials shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: In the interests of visual amenity in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

6. Notwithstanding the submitted details and prior to the construction of the development hereby approved above ground floor slab level, full details of the method of the treatment of the external boundaries of the site together with any other means of enclosure to be erected within the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the occupation of the building hereby permitted.

Reason: To ensure that the boundaries of the site are properly treated so as to secure a satisfactory and safe standard of development in accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

7. Prior to the construction of the development hereby permitted above ground floor slab level, full details of all external lighting within the site shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and retained thereafter.

Reason: In the interests of appearance of the locality, residential amenity, and crime prevention in accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

8. All planting, seeding or turfing shown on approved drawing numbers 03B and SCH-002 shall be carried out in the first planting and seeding seasons following the occupation of the building or the completion of the development, whichever is the sooner, and which shall be maintained for a period of five years; such maintenance to include the replacement in the current or nearest planting season whichever is the sooner or shrubs that may die are removed or become seriously damaged or diseased with others of similar size and species.

Reason: In the interests of amenity and to secure a satisfactory standard of development in accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

9. The new parking spaces shown on approved plans shall be constructed prior to the occupation of the dwellings hereby approved and retained thereafter.

Reason: To ensure that the proposed development does not prejudice the free flow of traffic or conditions of highway safety in accordance with the requirements of the National Planning Policy Framework.

10. Prior to the construction of the sheds shown on the plans hereby approved, full details of the sheds shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure the provision of adequate facilities in accordance with Policy S0 of the West Northamptonshire Joint Core Strategy.

11. The first floor window in the northern side elevation of the terraced properties hereby permitted shall be glazed with obscured glass to Level 3 or higher of the Pilkington scale of privacy or equivalent as may be agreed in writing by the Local Planning Authority before the development hereby permitted is first occupied and thereafter retained in that form at all times.

Reason: To safeguard the privacy of the adjoining property in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

12. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no window(s) other than those hereby permitted shall be installed at first floor level in the northern side elevation of the terraced properties hereby permitted.

Reason: To safeguard the privacy of adjoining properties in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

13. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions shall be erected to the dwellings hereby permitted.

Reason: In the interests of residential amenity and to prevent overdevelopment of the site in accordance with Policy E20 of the Northampton Local Plan and Policy H1 of the West Northamptonshire Joint Core Strategy.

10 BACKGROUND PAPERS

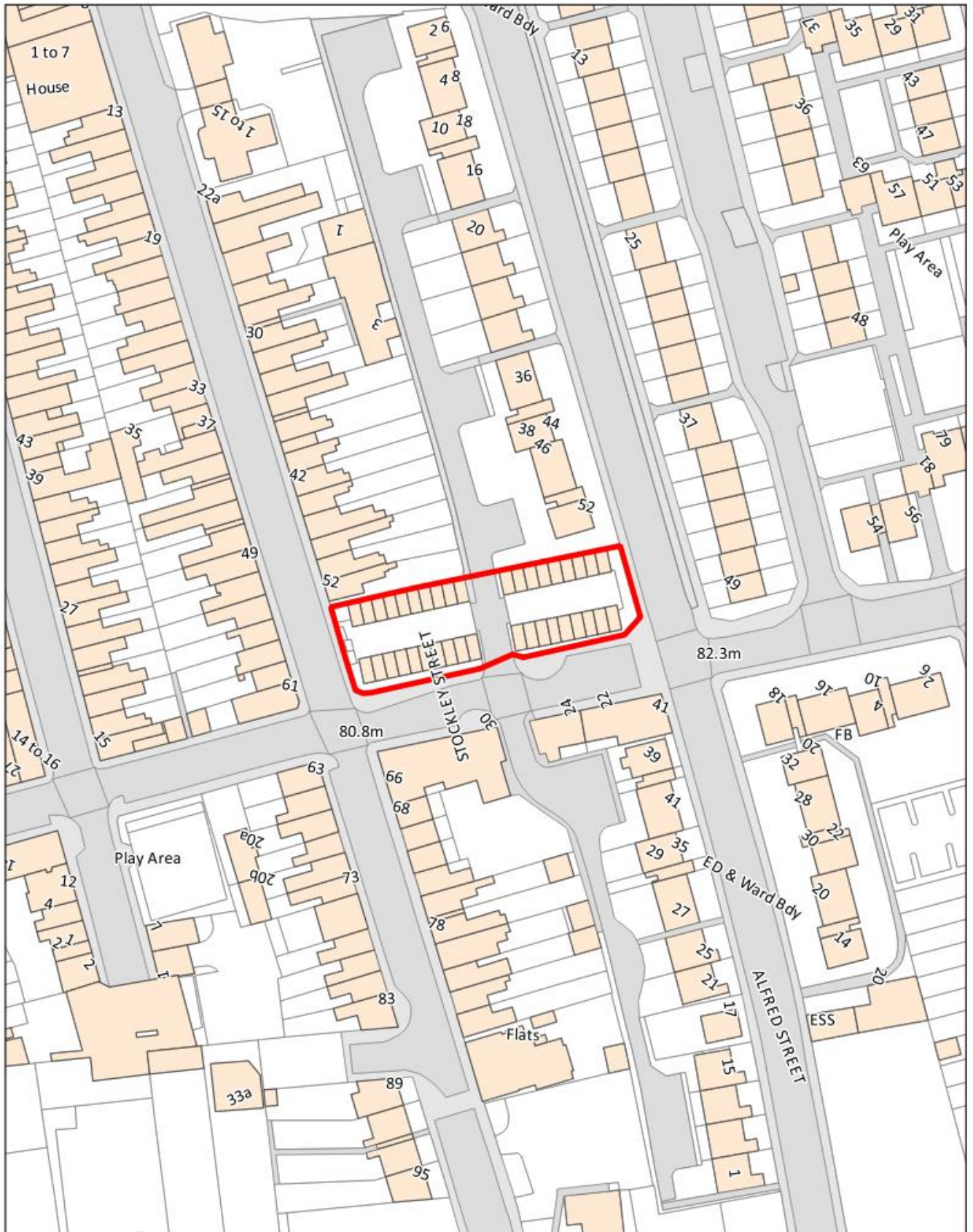
- 10.1 N/2019/0182.

11 LEGAL IMPLICATIONS

- 11.1 The development is CIL liable.

12 SUMMARY AND LINKS TO CORPORATE PLAN

- 12.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



NORTHAMPTON
BOROUGH COUNCIL

Title: **Lock up garages at Stockley Street**

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Date: 20-06-2019

Scale: 1:1,000

Drawn by: -----



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2019/0319

LOCATION: Lock Up Garages, Thyme Court

DESCRIPTION: Demolition of 7no domestic lock up garages and erection of 2no new dwellings with associated parking

WARD: Brookside Ward

APPLICANT: Northampton Partnership Homes
AGENT: Baily Garner LLP

REFERRED BY: Head of Planning
REASON: Council owned land

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The principle of new dwellings is acceptable in a residential area and would contribute towards the Council's five year housing land supply. The proposal would have an acceptable impact upon the character and appearance of the surrounding area, neighbouring amenity and highway safety. The proposed development complies with the requirements of the National Planning Policy Framework, Policies S1, S10, H1, and BN9 of the West Northamptonshire Joint Core Strategy, and Saved Policy E20 of the Northampton Local Plan and Policies H1, H2, DES1 and OS2 of the Growing Together Neighbourhood Plan.

2 THE PROPOSAL

- 2.1 The application seeks full planning permission for the demolition of seven existing garages and erection of two new dwellings with associated parking.
- 2.2 The proposed dwellings would comprise semi-detached three bed properties with gabled roofs. Each dwelling would 5.9 metres in width, 9 metres in depth and 8 metres in height.

- 2.3 The new dwellings would be located on the site of 7 existing garages and 7 existing hard surfaced parking spaces and the application site would include 22 hard surfaced parking spaces, 15 of which would be new parking spaces.

3 SITE DESCRIPTION

- 3.1 The application site is located in a residential area and comprises part of the verge along Penistone Road and Thyme Court, a small road containing seven parking bays with a turning head and a garage court with seven garages and seven hard surfaced parking spaces. Informal parking currently takes place in the turning head, adjacent to the access to the garage court and on the verge along Penistone Road. Properties in the locality predominantly comprise two storey terraced dwellings with gabled roof forms and first floor cladding.

4 PLANNING HISTORY

- 4.1 None relevant.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), Northampton Local Plan (1997) saved policies, and the Growing Together Neighbourhood Plan (2017).

5.2 National Policies

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

Paragraphs 7-12 - Presumption in favour of sustainable development.

Paragraph 60 - Housing needed for different groups in the community.

Paragraph 127 - Create places with a high standard of amenity for existing and future users.

Section 8 - Promoting healthy and safe communities.

Section 9 - Promoting sustainable transport

Section 12 - Achieving well-designed places.

5.3 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

Policy S1 - The Distribution of Development

Policy S10 - Sustainable Development Principles.

Policy H1 - Housing

Policy BN9 - Planning for Pollution Control

5.4 Northampton Local Plan 1997 (Saved Policies)

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policies material to this application:

Policy E20 - New development

5.5 **Supplementary Planning Documents**

Northamptonshire Parking Standards (September 2016)
Planning out Crime in Northamptonshire SPG 2004

5.6 **Other Material Considerations**

Growing Together Neighbourhood Plan

The Growing Together Neighbourhood Plan (Covering Blackthorn, Goldings, Lings and Lumbertubs) was made in April 2017, and now forms part of the development plan for Northampton. The following policies are relevant to the determination of this proposal:

Policy H1: Housing mix.

Policy H2: Small-scale housing development.

Policy DES1: High Quality Design

Policy OS2: Outdoor Amenity Space

6 **CONSULTATIONS/ REPRESENTATIONS**

Comments received are summarised as follows:

- 6.1 **Environmental Public Protection (NBC)** – No objections subject to conditions to require a noise assessment due to the close proximity to Lumbertubs Way, address unexpected contamination, and seek mitigation measures to accord with the Council's Low Emission Strategy. In addition, an advice note relating to construction noise is recommended.
- 6.2 **Highway Authority (NCC)** – No objections subject to the extension of the lay-by on Penistone Road and the re-arrangement of parking within Thyme Court.
- 6.3 **Crime Prevention Design Officer** – Although these houses are orientated to face onto other houses across a green space and are in line with houses to the side of them the way they are facing means that they back onto the road and none of the proposed car parking is under observation from within the house. If they were turned around then car parking associated with the dwelling would be under supervision and they would address the street as per the SPG on Planning out Crime. Whichever way the dwellings face, the fencing should be supplemented with a trellis top to reduce climbing opportunities and the sheds should be of solid construction with no window and have a secure lock. All new doors and windows should comply with ADQ of Building Regulations and be 3rd party accredited.
- 6.4 **Twenty letters of objection** have been received from neighbouring residents. The letters include the following points:
- The proposal would worsen existing parking issues and would not benefit local residents
 - The scheme would result in the loss of informal parking and fewer parking options than is presently available.
 - There is a high level of car ownership in the local area.
 - Development will result in dangerous parking along the road and disruption to the bus route; the new parking spaces would not be safe or convenient.
 - There is no allowance for motorbike storage which currently takes place in the garages.
 - All of the existing garages are in use.
 - Some of the garages are used for storage purposes.
 - Vehicles regularly park on the grass.
 - Residents often have to park in other courts several 100 metres away.
 - Loss of parking spaces will affect residents' ability to access transport and health facilities.
 - The construction works will disrupt existing parking.
 - The applicant has not taken into account the parking concerns raised during the consultation exercise.

- Plans do not leave any communal areas for putting out refuse and recycling.
- Proposal will remove a play area.
- Thyme Court will become a less pleasant place to live.
- The supporting documents erroneously refer to other sites.
- Construction safety concerns.
- Development should include electric vehicle charging points.
- The loss of garaging will affect residents financially and the development may also impact on house prices.

6.5 In addition, **a petition has been submitted** raising objection to the applicant's plans to redevelop 7 garages sites across Lumbertubs including the current application proposals. The petition states that there have been 324 signatures, however a couple of pages have been omitted such that only 301 signatures have been provided to the Local Planning Authority

7 APPRAISAL

Principle of development

- 7.1 The application site is located in a designated residential area and would comply with Policy S1 of the Joint Core Strategy, which details that development should be concentrated primarily in and adjoining the principal area of Northampton.
- 7.2 In addition, the site comprises land that has been previously developed and thus the redevelopment of such brownfield land is encouraged under the NPPF
- 7.3 However, the Council cannot presently demonstrate a five year housing land supply. Therefore, in accordance with the presumption in favour of sustainable development in Paragraph 11 of the NPPF, development should be permitted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits. The development of the site for two dwellings would contribute, albeit on a small scale, towards the Council's housing supply with associated social and economic benefits and this therefore weighs in favour of the proposal.

Layout, design and heritage

- 7.4 Saved Policy E20 of the Northampton Local Plan, Policy H1 of the Joint Core Strategy and Policies DES1 and H2 of the Growing Together Neighbourhood Plan place great importance on the quality of design of new developments and are in conformity with the NPPF, which advises that planning should always seek to secure high quality design.
- 7.5 The application proposes two semi-detached houses to the side of and in line with Nos 16-19 Thyme Court. Furthermore, the new houses would front onto the existing open space with private gardens to the rear to match the established pattern of development. In addition, the new houses would have gabled roof forms to reflect neighbouring properties. The proposed development would not have however have first floor cladding to match neighbours, but subject to the use of sympathetic bricks for the elevation treatment, it is considered that the new housing would integrate acceptably in the streetscene.
- 7.6 In respect of the new parking areas, the additional formal spaces in Thyme Court would in part mirror the existing provision to the southern side of the road. Furthermore, Penistone Road presently benefits from parking bays to the southern side such that the new bay proposed under the current application would not appear out of place.
- 7.7 The Police Crime Prevention Design Advisor advises that from a security perspective the scheme would be better orientated to face onto Penistone Road with windows serving active rooms facing the parking area to the side. However, and whilst the benefits of such suggestions are acknowledged, the layout reflects the existing character of the area (as detailed above) such that objections could not reasonably be sustained to the orientation of the dwelling. Furthermore, whilst the flank elevations of the new houses do not contain windows to a habitable room, they do have

windows serving a hallway and stairway such that there would be some, albeit limited, potential for surveillance from the proposed development.

- 7.8 Overall, and subject to conditions relating to floor levels, materials and details of external lighting, it is considered that the proposal would not have an adverse impact on the character and appearance of the area.

Residential amenity

- 7.9 Saved Policy E20 of the Northampton Local Plan, Policy H1 of the Joint Core Strategy, Policies DES1, H2 and OS2 of the Growing Together Neighbourhood Plan and the NPPF all seek to secure a good standard of amenity for all existing and future occupants of land and buildings.
- 7.10 In terms of the amenities of neighbours, the proposed houses would be set to the side of the dwelling at No 19 Thyme Court and separated by a pathway such that the new dwellings would have no implications for the residential amenity of this or any other neighbouring property subject to a condition preventing the insertion of first floor flank windows.
- 7.11 Turning to the amenities of future occupiers of the new dwellings, all habitable rooms would be served by windows. The gardens for the new dwellings would be smaller in size than is normally acceptable, however this would reflect the established character of properties in the locality and there is also an area of open space forward of the new dwellings. In addition, the Council's Environmental Health Officer has assessed the application and raises no objection subject to a condition require details of noise mitigation measures due to the close proximity of the site to Lumbertubs Way. Therefore, and subject to the aforementioned condition and a condition removing permitted development rights for extensions to ensure adequate private amenity space is retained for each plot, it is considered that the proposal would afford an acceptable standard of amenity for future occupiers of the site.
- 7.12 Overall, it is considered that the proposal would not give rise to an unacceptable impact with regard to the amenities of neighbours and would afford an acceptable standard of amenity for future occupiers of the site.

Parking and highway safety

- 7.13 The application site currently benefits from 7 parking bays to the southern side of Thyme Court and a garage court that contains 7 garages and 7 further hard surfaces parking spaces, which equates to 21 parking spaces. However, garages are not generally counted as parking spaces under the County Parking Standards as they are often too small to be used for day to day parking. In addition, it is noted that informal parking presently takes place in the turning heads on Thyme Court (potentially 6 additional cars), on the accesses to the garage court (up to 4 cars) and along the frontage with Penistone Road. Such informal parking however cannot be relied upon in a parking assessment under the Parking Standards, although is nevertheless indicative of the level of parking demand in the locality.
- 7.14 The application proposes the provision of two semi-detached properties each with three bedrooms which would generate a parking requirement of 4 on plot parking spaces under the County Parking Standards. In addition, the proposal would result in the loss of 7 garages and 7 hard surfaced parking spaces. However, the proposal includes the provision of 15 additional formal parking spaces together with the retention of the 7 existing spaces to the south of Thyme Court such that the site would contain 22 parking spaces overall. In addition, whilst the proposal would replace a number of the existing informal parking opportunities with formalised bay, there would potentially remain scope for three informal parking spaces in the turning head to the southern side of Thyme Court.
- 7.15 It is considered that the parking and associated highway implications of the proposal are very finely balanced in this instance. However, the formalisation of parking into bays would clearly provide a safer and more reliable parking environment. In addition, the applicant has indicated that all

existing occupiers of the garages can be relocated to new garages less than 100 metres from existing residence. Furthermore, the County Highway Engineer has indicated that the application is acceptable with respect to parking and highway safety. As such, it is considered that objections cannot be sustained to the proposal on parking and highway safety grounds.

Other considerations

- 7.16 The Council's Environmental Health Officer recommends a condition to address unexpected ground contamination should planning permission be forthcoming.
- 7.17 In addition, the Environmental Health Officer recommends a condition regarding the Council's Low Emission Strategy and also provides guidance relating to construction hours. In this respect, matters relating to the energy efficiency of buildings are addressed under the Building Regulations and there is no policy basis to require electric vehicle charging points for the nature of the development proposed. As all new properties have to comply with Building regulations, the proposal complies with Policy S10 of the JCS. With respect to construction hours, the proposal is only for a small-scale development and there are controls under the Environmental Health and Highway legislations to address issues arising from such small construction site should they arise.
- 7.18 The neighbour concerns regarding parking provision during construction works are noted and it is therefore recommended that a condition is imposed to seek to secure the provision of the new parking area prior to the construction of the new dwellings.
- 7.19 Concerns have raised relating to the financial implications of the proposal, however such matters are not planning considerations.

8 CONCLUSION

- 8.1 To conclude, the site is in an existing housing area within the urban area of Northampton and the principle of residential development on the site is therefore acceptable under the development plan. However, the Council cannot presently demonstrate a five year housing land supply and it is therefore necessary to assess the proposal against the presumption in favour of sustainable development. In this instance, the proposal would comply with the development plan, result in the reuse of a brownfield site and would contribute, albeit on a small scale, towards the Council's housing supply with associated social and economic benefits. Furthermore, subject to conditions, no harm has been identified that would significantly and demonstrably outweigh the benefits. Therefore, it is recommended that planning permission is granted subject to conditions.

9 CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: (P)01A, (P)02A, (P)03B, (P)04, and (P)05

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared which is subject to the approval in writing of the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority

Reason: To ensure the effective investigation and remediation of contaminated land sites and in the interests of health and safety and the quality of the environment in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy.

4. Prior to the construction of the development hereby permitted, details of the existing and proposed ground levels and finished floor levels of the development shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the development shall be implemented in accordance with the approved details.

Reason: In the interests of residential and visual amenity in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy. Pre-commencement condition to ensure details are agreed in a timely manner and to ensure a satisfactory standard of development.

5. Prior to the construction of the development hereby permitted, a timetable for the construction of the parking spaces and manoeuvring areas shown on the approved plans shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and the parking spaces shall be retained thereafter.

Reason: To ensure that the proposed development does not prejudice the free flow of traffic or conditions of highway safety in accordance with the requirements of the National Planning Policy Framework. Pre-commencement condition to ensure details are agreed in a timely manner and to ensure a satisfactory standard of development.

6. Prior to the construction of the new dwellings hereby approved above ground floor slab level, a noise assessment incorporating a scheme for protecting the dwellings from traffic noise shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented concurrently with the development, completed before the first occupation of the development, and thereafter retained.

Reason: To protect the enjoyment of future occupiers of their dwellings amenity in accordance with Policy BN9 of the Northamptonshire Joint Core Strategy.

7. Prior to the construction of the development hereby approved above ground floor slab level, details of all proposed external facing materials shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: In the interests of visual amenity in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

8. Prior to the construction of the development hereby permitted above ground floor slab level, full details of all external lighting within the site shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and retained thereafter.

Reason: In the interests of appearance of the locality, residential amenity, and crime prevention in accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

9. Prior to the construction of the sheds shown on the plans hereby approved, full details of the sheds shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure the provision of adequate facilities in accordance with Policy S10 of the West Northamptonshire Joint Core Strategy.

10. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no window(s) other than those hereby permitted shall be installed at first floor level in the side elevations of the proposed development.

Reason: To safeguard the privacy of adjoining properties in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

11. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions shall be erected to the dwellings hereby permitted.

Reason: In the interests of residential amenity and to prevent overdevelopment of the site in accordance with Policy E20 of the Northampton Local Plan and Policy H1 of the West Northamptonshire Joint Core Strategy.

10 BACKGROUND PAPERS

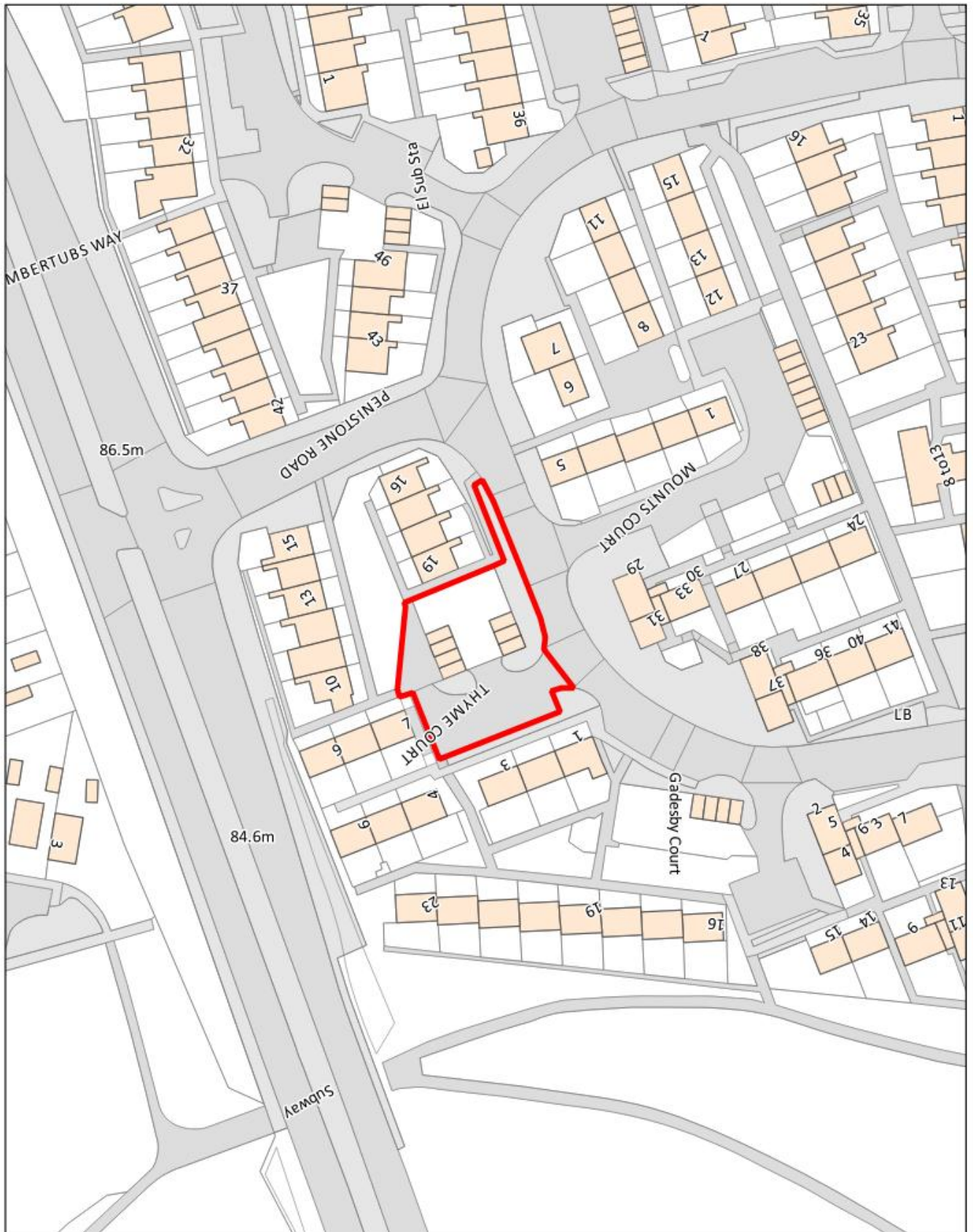
- 10.1 N/2019/0319.

11 LEGAL IMPLICATIONS

- 11.1 The development is CIL liable.

12 SUMMARY AND LINKS TO CORPORATE PLAN

- 12.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



NORTHAMPTON
BOROUGH COUNCIL

Title: **Lock up garages at Thyme Court**

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Date: 20-06-2019

Scale: 1:1,000

Drawn by: -----



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2019/0392

LOCATION: Land adjacent to 37 Windermere Way

DESCRIPTION: Construction of 2no dwellings and car parking spaces

WARD: Eastfield Ward

APPLICANT: Baily Garner LLP
AGENT: Baily Garner LLP

REFERRED BY: Head of Planning
REASON: Council owned land

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposal would contribute towards the Council's five year housing land supply and, as part of a balanced assessment, it is considered to be acceptable. As such, subject to conditions, no objections are raised with regards to the requirements of the National Planning Policy Framework, Policies S1, S10, H1, and BN9 of the West Northamptonshire Joint Core Strategy, and Saved Policy E20 of the Northampton Local Plan.

2 THE PROPOSAL

- 2.1 The application seeks full planning permission for the construction of two dwellings with associated car parking spaces.
- 2.2 The new dwellings would be three bed semi-detached properties with gabled roof forms. Each dwelling would measure 8.7 metres in width, 6.1 metres in depth and 7.1 metres in height.
- 2.3 In addition, the proposal would include the provision of 17 parking spaces.
- 2.4 The scheme has been amended since its submission to omit a dwelling, retain a line of trees to the west of the site and re-arrange the parking and manoeuvring layout.

3 SITE DESCRIPTION

- 3.1 The application site is located in a residential area and comprises areas of parking and landscaping accessed off Windermere Way. More specifically the site includes a parking court to the side of No 37 Windermere Way with a landscaped strip to the rear and western side incorporating four silver birch trees to the side of 8 Troutbeck Walk; 5 parking spaces to the rear of 13 Churchill Avenue; and a grassed area between Nos 33 -37 (odd) Windermere Way and the flats at 87 -101 (odds) including a walled enclosure.
- 3.2 Properties in the locality predominantly comprise two storey houses and flatted blocks with a mix of facing materials.
- 3.3 The application site backs onto and is enclosed by paths that provide access onto a treed belt that forms part of Eastfield Park to the rear of the site.

4 PLANNING HISTORY

- 4.1 None relevant.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), and Northampton Local Plan (1997) saved policies.

5.2 National Policies

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

Paragraphs 7-12 - Presumption in favour of sustainable development.

Paragraph 60 - Housing needed for different groups in the community.

Paragraph 127 - Create places with a high standard of amenity for existing and future users.

Section 8 - Promoting healthy and safe communities.

Section 9 - Promoting sustainable transport

Section 12 - Achieving well-designed places.

Section 15 - Conserving and enhancing the natural environment.

5.3 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

Policy S1 - The Distribution of Development

Policy S10 - Sustainable Development Principles.

Policy H1 – Housing

Policy RC2 - Community Needs

Policy BN1 - Green infrastructure

Policy BN2 - Biodiversity

Policy BN9 - Planning for Pollution Control

5.4 **Northampton Local Plan 1997 (Saved Policies)**

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policy is material to this application:

Policy E20 - New Development (Design)

5.5 **Supplementary Planning Documents**

Northamptonshire Parking Standards (September 2016)
Planning out Crime in Northamptonshire SPG 2004

6 **CONSULTATIONS/ REPRESENTATIONS**

Comment received are summarised as follows:

- 6.1 **Arboricultural Officer (NBC)** – The revised layout is far more acceptable in principle: the trees will need to be effectively protected from avoidable harm throughout the development and a revised arboricultural report will be required.
- 6.2 **Public Protection (NBC)** – No objections subject to conditions to address unexpected contamination, and working hours and an informative relating to the Council's Low Emission Strategy.
- 6.3 **Northamptonshire Police Crime Prevention Design Advisor** – There is no objection to this application in that the dwellings face the street and the vehicles are within view of routinely inhabited rooms. To reduce opportunities for crime, would recommend that the sheds should be relocated away from the boundary as they are often used as a means of entry into a garden. In addition, they should have no window and be fitted with a secure lock.
- 6.4 **Highway Authority (NCC)** – A turning head and footway is needed (Officer Note: Amended plans submitted to seek to address this but to date no revised comments received from Highways).
- 6.5 **Three neighbour objection letters** were received to the application as originally submitted. The letters included the following concerns:
- Object to the loss of communal areas in front of properties; these areas are in much demand in the school holidays and provide a safe environment for children to play. There are no play areas close to the site and the estate is slowly being stripped of its green areas and trees.
 - The loss of the green space will also impact on views from properties.
 - New buildings have already been approved in the area and it is unfair to subject the area to more housing and traffic.
 - Loss of parking; the site can currently accommodate some 20 car parking utilising a tandem parking arrangement and the plans will severely restrict parking options.
 - Unclear where cars can park during construction works.
 - Parking in the area is also used by the public to access Eastfield Park.
 - Parking shortage will create conflict between neighbours.
 - The ratio of parking for new and existing residents is unfair.
 - Existing residents should be provided with dropped kerb to allow cars to park on their frontages
 - Parking issues in the area are not helped by empty garages not being released for use by local tenants.
 - Lack of engagement from the applicant with neighbours.
 - Not all neighbours have been notified of the application (Officer Note: Neighbour notification letters sent to all properties that bound the site and a Site Notice has also been erected)
 - The supporting documents erroneously refer to other sites.
- 6.6 **One further letter of objection** has been received following the receipt of amended plans. This letter includes the following points:

- The revised scheme still does not include new dropped kerbs to existing properties on Windermere Way.
- The amended scheme would still have insufficient parking.

7 APPRAISAL

Principle of development

- 7.1 The application site is located in a designated residential area and would comply with Policy S1 of the Joint Core Strategy, which details that development should be concentrated primarily in and adjoining the principal area of Northampton.
- 7.2 However, the Council cannot presently demonstrate a five year housing land supply. Therefore, in accordance with the presumption in favour of sustainable development in paragraph 11 of the NPPF, development should be permitted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits. The development of the site for dwellings would contribute, albeit on a small scale, towards the Council's housing supply with associated social and economic benefits and this therefore weighs in favour of the proposal.

Open Space

- 7.3 Policy RC2 of the Joint Core Strategy relates to open space and seeks to resist the loss of open space unless it can be demonstrated that:
- There is evidence that improvements can be made through the provision of a replacement facility of equal or better quality taking into account accessibility; or
 - The proposal will bring about community benefits that outweigh the loss of the facility; or
 - Having regard to the relevant open space study, the space is surplus or is little used.
- 7.4 In addition, Paragraph 97 of the NPPF also seeks to protect against the unjustified loss of open space of public value.
- 7.5 The application site includes two areas of open space: an area of open space beside No 8 Troutbeck Walk that contains four mature silver birch trees and a grassed area that is fronted onto by houses on Windermere Way and the flats on Churchill Avenue. The application originally proposed the loss of all the existing open space within the site, however the scheme has been amended to retain the strip of open space containing silver birch trees adjacent to No 8 Troutbeck Walk. The grassed area of open space fronted onto by the houses and flats would, however, still be lost as part of the amended proposal to facilitate additional parking. Whilst this open space does not contain any play or recreation facilities, it clearly serves as a recreational and amenity resource for local residents. However, the site neighbours Eastfield Park which affords recreational facilities, including play equipment to the far side of the tree belt, and it is considered that the community benefits arising from the proposed new family homes would outweigh the loss of open space in this instance.

Layout and Design

- 7.6 Saved Policy E20 of the Northampton Local Plan and Policy H1 of the Joint Core Strategy place great importance on the quality of design of new developments and is in conformity with the NPPF which advises that planning should always seek to secure high quality design.
- 7.7 The proposed houses would be set to the side of an existing run of terraced houses and would have a shallow pitched roof design with first floor cladding to reflect the appearance of neighbouring properties. The amended scheme would retain a landscape strip between the new houses and properties on Troutbeck Walk, which would provide a transitional area between the new and existing properties and allow views through to Eastfield Park. The new houses would also benefit from side windows to provide surveillance of this landscaped strip and the paths to Eastfield Park. In addition, all of the new parking areas would benefit from surveillance, although it

is recommended that a condition is imposed requiring details of external lighting to the site. The comments of the Police Crime Prevention Design Advisor regarding sheds providing opportunities for access to rear gardens are noted and this matter can be addressed by condition. As such, subject to the aforementioned conditions together with floor level and materials conditions, no objections are raised to the proposal with respect to the character and amenity of the area.

Residential amenity

- 7.8 Saved Policy E20 of the Northampton Local Plan, Policy H1 of the Joint Core Strategy and the Core Planning Principles in the NPPF all seek to secure a good standard of amenity for all existing and future occupants of land and buildings.
- 7.9 In terms of the amenities of neighbours, the proposed semi-detached houses would be set to the side of the existing dwelling at No 37 Windermere Way and separated by a pathway. As such, the proposed dwellings would have no implications for the residential amenity of this property. Turning to the neighbour to the west, No 8 Troutbeck Walk, whilst the new dwellings would be set further back than this end of terrace dwelling, they would be separated from this neighbouring property by a treed landscaped strip and pathways. Furthermore, the proposed houses would not benefit from any first floor flank windows and this could be secured by condition. As such, the proposed dwellings would not give rise to an adverse impact with regards to the residential amenities of No 8. The proposal also includes the formation of parking areas including parking forward of the existing flats, however these spaces would not directly abut neighbouring properties and would not have a harmful impact with regards to residential amenity.
- 7.10 Turning to the amenities of future occupiers of the new dwellings, all habitable rooms would be served by windows. The gardens for the new dwellings would be smaller in size than is normally acceptable and the light received in the gardens would be restricted by the existing tree belt running along the boundary of Eastfield Park. However, these proposed gardens would reflect the established character of properties to the east and the site backs onto Eastfield Park such that there is ample open space available in the locality. Therefore, and subject to conditions removing permitted development rights for extensions to ensure adequate private amenity space is retained for each plot, it is considered that the proposal would afford an acceptable standard of amenity for future occupiers of the site in this instance.
- 7.11 Overall, it is considered that the proposal would not give rise to an unacceptable impact with regard to the amenities of neighbours and would afford an acceptable standard of amenity for future occupiers of the site.

Parking and highway safety

- 7.12 The application site currently benefits from two informal parking areas: a parking area to the rear of No 103 Churchill Avenue that can accommodate 4 parking spaces in accordance with the guidance in the County Parking Standards; and a parking area to the side of No 37 Windermere Way that can accommodate 5 parking spaces. It is noted that third party representations detail that additional informal parking presently takes place, with an extra car parking behind No 103 and tandem parking taking place to the side of Windermere Way such that at least 15 cars could potentially park under the existing site circumstances. Such informal parking, however, cannot be relied upon in a parking assessment under the Parking Standards, although is nevertheless indicative of the level of parking demand in the locality.
- 7.13 The Parking Standards seek 2 parking spaces per 2/3 bed dwelling, which equates to 4 parking spaces for the proposed development. The application proposes 17 formal parking spaces, 6 forward of the new houses and 11 in front of the existing flats. Therefore, under the Parking Standards the proposal would provide parking to meet the demand from the proposed development and increase the existing levels of formalised parking provision. Furthermore, parking to the rear of No 103 would also be retained and it is considered that the proposal would not exacerbate existing parking provisions in the area taking into account the levels of informal parking place on site.

- 7.14 The comments of third parties regarding the potential for the scheme to provide on plot parking for existing properties are noted. However, such works would fall outside the application site and cannot be addressed under this application. Although, the revised layout would not prejudice such arrangements taking place.
- 7.15 The neighbour concerns regarding parking provision during construction works are noted and it is therefore recommended that a condition is imposed to seek to secure the provision of the new parking area prior to the construction of the new dwellings.
- 7.16 The application has been amended to seek to address the concerns of the Highway Engineer regarding a footway and turning.
- 7.17 Overall, it is considered that the proposal is acceptable with regards to parking and highway safety.

Other considerations

- 7.18 The Council's Environmental Health Officer recommends a condition to address unexpected ground contamination should planning permission be forthcoming.
- 7.19 In addition, the Environmental Health Officer has provided guidance regarding the Council's Low Emission Strategy and recommends a condition relating to construction hours. In this respect, matters relating to the energy efficiency of buildings are addressed under the Building Regulations. As all new properties have to comply with these, the proposal complies with Policy S10 of the JCS. With respect to construction hours, the proposal is only for a small-scale development and there are controls under the Environmental Health and Highway legislations to address issues arising from such small construction site should they arise.

8 CONCLUSION

- 8.1 To conclude, the Council cannot presently demonstrate a five year housing land supply and it is therefore necessary to assess the proposal against the presumption in favour of sustainable development. In this respect, the principle of residential development is acceptable under the development plan and the proposal would also contribute to the Council's five year housing land supply. The proposal would however result in the loss of a an area of open space, but a meaningful area of open space would remain and this limited harm is considered to be outweighed by the benefits to the community of providing housing to contribute to the Council's five year housing land supply. Furthermore, subject to conditions, no other harm has been identified that would significantly and demonstrably outweigh the benefits. Therefore, it is recommended that planning permission is granted subject to conditions.

9 CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: (P)01, (P)02, (P)03B, (P)04A, (P)05B, (P)06A.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared which is subject to the approval in writing of the Local Planning Authority. Following completion of measures identified in the approved

remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority

Reason: To ensure the effective investigation and remediation of contaminated land sites and in the interests of health and safety and the quality of the environment in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy.

4. Prior to the construction of the development hereby permitted, details of the existing and proposed ground levels and finished floor levels of the development shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the development shall be implemented in accordance with the approved details.

Reason: In the interests of residential and visual amenity in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy. Pre-commencement condition to ensure details are agreed in a timely manner and to ensure a satisfactory standard of development.

5. Notwithstanding the submitted details and prior to the commencement of development hereby permitted, an Arboricultural Report detailing the tree protection measures for all the trees to be retained as part of the development shall be submitted to and approved in writing by the local planning authority. The development shall thereafter be constructed in accordance with the approved tree and hedge protection details.

Reason: In the interests of the character and appearance of the locality and biodiversity in accordance with Policies H1, BN1, BN2 and S10 of the West Northamptonshire Joint Core Strategy. Pre-commencement condition to ensure details are agreed in a timely manner and to ensure a satisfactory standard of development.

6. Prior to the construction of the development hereby permitted, a timetable for the construction of the parking spaces and manoeuvring areas shown on the approved plans shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and the parking spaces shall be retained thereafter.

Reason: To ensure that the proposed development does not prejudice the free flow of traffic or conditions of highway safety in accordance with the requirements of the National Planning Policy Framework. Pre-commencement condition to ensure details are agreed in a timely manner and to ensure a satisfactory standard of development.

7. Prior to the construction of the development hereby approved above ground floor slab level, details of all proposed external facing materials shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: In the interests of visual amenity in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

8. Prior to the construction of the development hereby permitted above ground floor slab level, full details of all external lighting within the site shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and retained thereafter.

Reason: In the interests of appearance of the locality, residential amenity, and crime prevention in accordance with Policies H1 and S10 of the West Northamptonshire Joint Core Strategy.

9. Prior to the construction of the sheds shown on the plans hereby approved, full details of the sheds shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure the provision of adequate facilities in accordance with Policy S10 of the West Northamptonshire Joint Core Strategy.

10. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no window(s) shall be installed at first floor level in the side elevations of the proposed development.

Reason: To safeguard the privacy of adjoining properties in accordance with Policy H1 of the West Northamptonshire Joint Core Strategy.

11. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions shall be erected to the dwellings hereby permitted.

Reason: In the interests of residential amenity and to prevent overdevelopment of the site in accordance with Policy E20 of the Northampton Local Plan and Policy H1 of the West Northamptonshire Joint Core Strategy.

10 BACKGROUND PAPERS

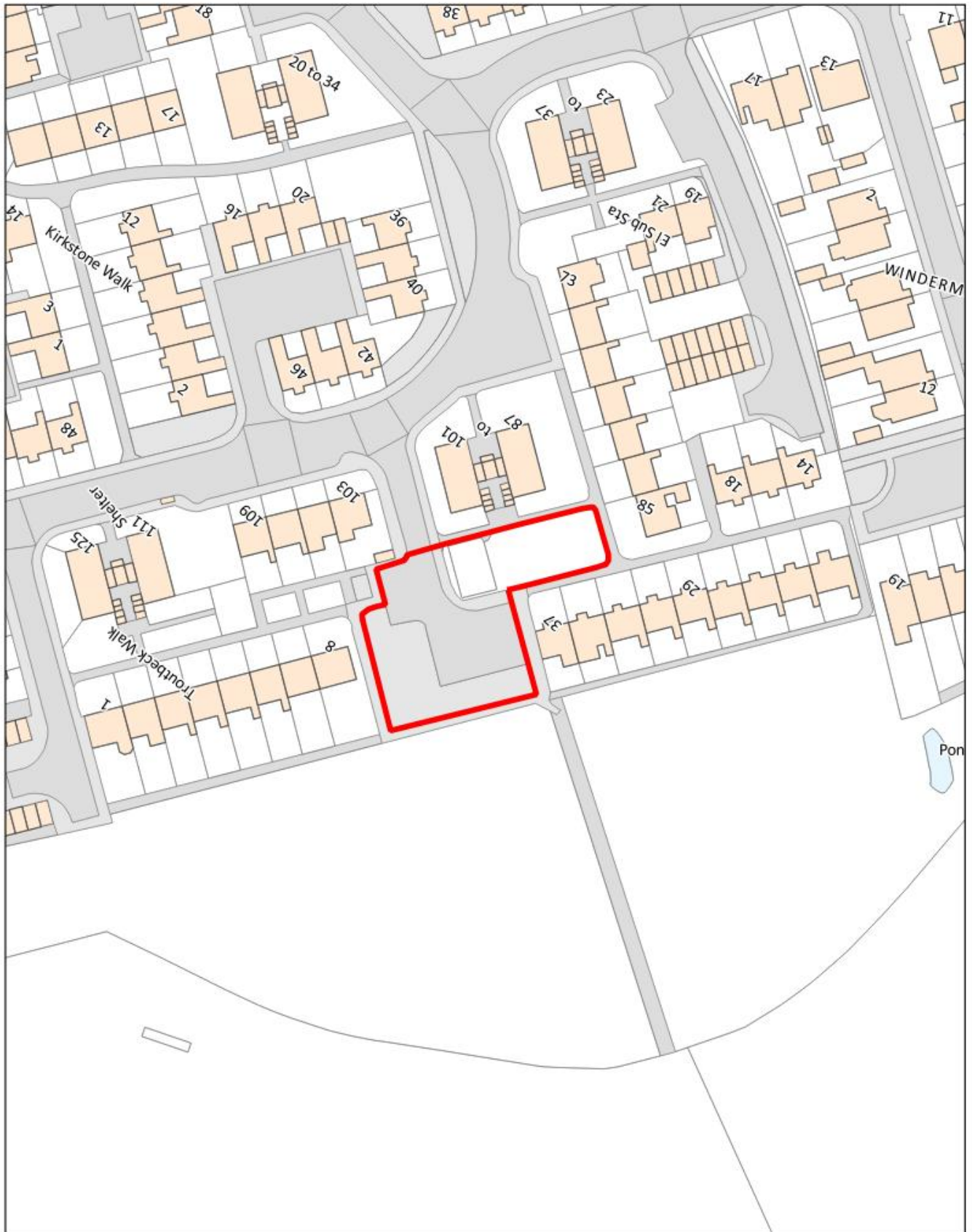
- 10.1 N/2019/0395.

11 LEGAL IMPLICATIONS

- 11.1 The development is CIL liable.

12 SUMMARY AND LINKS TO CORPORATE PLAN

- 12.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



NORTHAMPTON
BOROUGH COUNCIL

Title: **Land adj 37 Windermere Way**

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Date: 20-06-2019

Scale: 1:1,000

Drawn by: -----



PLANNING COMMITTEE: 2nd July 2019
DEPARTMENT: Planning Service
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2019/0602

LOCATION: 23 Campion Court

DESCRIPTION: Single storey rear extension

WARD: Billing Ward

APPLICANT: Northampton Partnership Homes
AGENT: N/A

REFERRED BY: Head of Planning
REASON: Council owned land

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1 RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposed development would due to its siting, scale and design not have an undue detrimental impact on the appearance and character of the host building, wider area and neighbour amenity to comply with the National Planning Policy Framework, Policy S10 of the West Northamptonshire Joint Core Strategy, Policies E20 and H18 of the Northampton Local Plan, and the Council's Residential Extension and Alterations Design Guide.

2 THE PROPOSAL

- 2.1 The current application seeks permission for a single storey flat roof rear extension.
- 2.2 The proposed extension would be 3m deep and 4.5m wide with a flat roof. The proposed eaves at 2m in height, with the highest part of the extension at 2.2m above ground level.
- 2.3 The external materials proposed would be to match the existing building.

3 SITE DESCRIPTION

- 3.1 The application site consists of a terraced property with brick and hanging tile. There is a large open plan front garden that looks onto a large public open space beyond a 2m palisade fence. The rear garden is accessed via the car park at the back of the site and is enclosed by a 1.8m high

fence for the majority, with the side elevation of a garage to one side. Several of the fence panels between the application site and the adjoining property of no. 22 have been removed.

- 3.2 The local area is predominantly residential, with terraced properties of similar style and varying sizes.

4 PLANNING HISTORY

- 4.1 **N/1999/0574** Construction of new access road. Construction of 1.8m fencing to enclose campion court and construction of new footpaths. Change of use from open space to private gardens **APPROVED**.

5 PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014) and the Northampton Local Plan (1997) saved policies.

6 National Policies

- 6.1 **The National Planning Policy Framework (NPPF)** sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following section is of particular relevance to this application:

Section 12 - Achieving well-designed places

6.2 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policy of particular relevance is:

Policy S10 – Sustainable Development Principles – development will achieve the highest standards of sustainable design, incorporating safety and security considerations and a strong sense of place.

6.3 Northampton Local Plan 1997 (Saved Policies)

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policies are material to this application:

E20 – allows for new development providing that the design reflects the character of its surroundings in terms of layout, siting, form, scale & appropriate use of materials and that the proposal is designed and located to ensure adequate standards of privacy, daylight and sunlight.

H18 – allows for house extension provided design acceptably in keeping with character and appearance of the host dwelling; and effect upon adjoining properties.

6.4 Supplementary Planning Documents

Residential Extensions and Alterations Design Guide SPD

7 CONSULTATIONS/ REPRESENTATIONS

- 7.1 Adjacent neighbours, ward councillors, Parish Council, residents association and Northampton Borough Council Asset Management were all consulted on the proposal. None have made comment or raised objection.

8 APPRAISAL

Main issues

- 8.1 The main issues to consider are the design and impact on the appearance and character of the host building, wider area and the amenity of adjoining occupiers.

Impact on the street scene

- 8.2 Relevant planning policy requiring good design is contained within Policies E20 of the Northampton Local Plan and Policy S10 of the Joint Core Strategy. Policy H18 of the Local Plan relates specifically to domestic extensions/alterations. Guidance is also contained in the Council's Supplementary Planning Document on Residential Extensions (2011) which sets down design principles relating to domestic extensions recommending that extensions should be sympathetic to the existing house in terms of roof form, materials and proportions and side extensions should be sub-ordinate. Paragraph 127 of the NPPF also requires high standards of residential amenity for neighbouring occupiers.

- 8.3 The proposed single storey rear extension would not be visible from the street to the rear of the property due to existing boundary treatments. The materials would be in keeping with the host building. The proposed extension would appear subordinate to the original house with a lower roof form and the appearance is considered to be acceptable. A condition is proposed requiring matching materials to ensure a satisfactory external appearance. This would comply with advice contained within the Council's guidance and the requirements of the above planning policy.

Impact on the amenities of adjoining occupiers

- 8.4 The proposed extension would have some visual impact to the occupiers of the adjoining properties due to its location. However, the relatively small scale of the proposal means that any potential impact in terms of overbearing and overshadowing are considered acceptable.
- 8.5 The proposed extension is considered Permitted Development by virtue of the Town and Country Planning (General Permitted Development) (England) Order 2015 Schedule 2 Part 1 Part A. For this reason, it would be unreasonable to refuse the application.

9 CONCLUSION

- 9.1 It is considered that the extension would not result in any undue adverse impact on the street scene or on the amenities of adjoining. The development is therefore in line with Development Plan Policy and recommended for approval.

10 CONDITIONS

- 1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

- 2) The development hereby permitted shall be carried out in accordance with the following approved plans: 23CC.PP005 and PL-BCC-002

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

- 3) The external walls of the extension shall be constructed with materials of the same type, texture and colour as the external walls of the existing building.

Reason: In the interests of visual amenity to ensure that the extension harmonises with the existing building in accordance with Policy E20 of the Northampton Local Plan and Policy S10 of the West Northamptonshire Joint Core Strategy.

11. BACKGROUND PAPERS

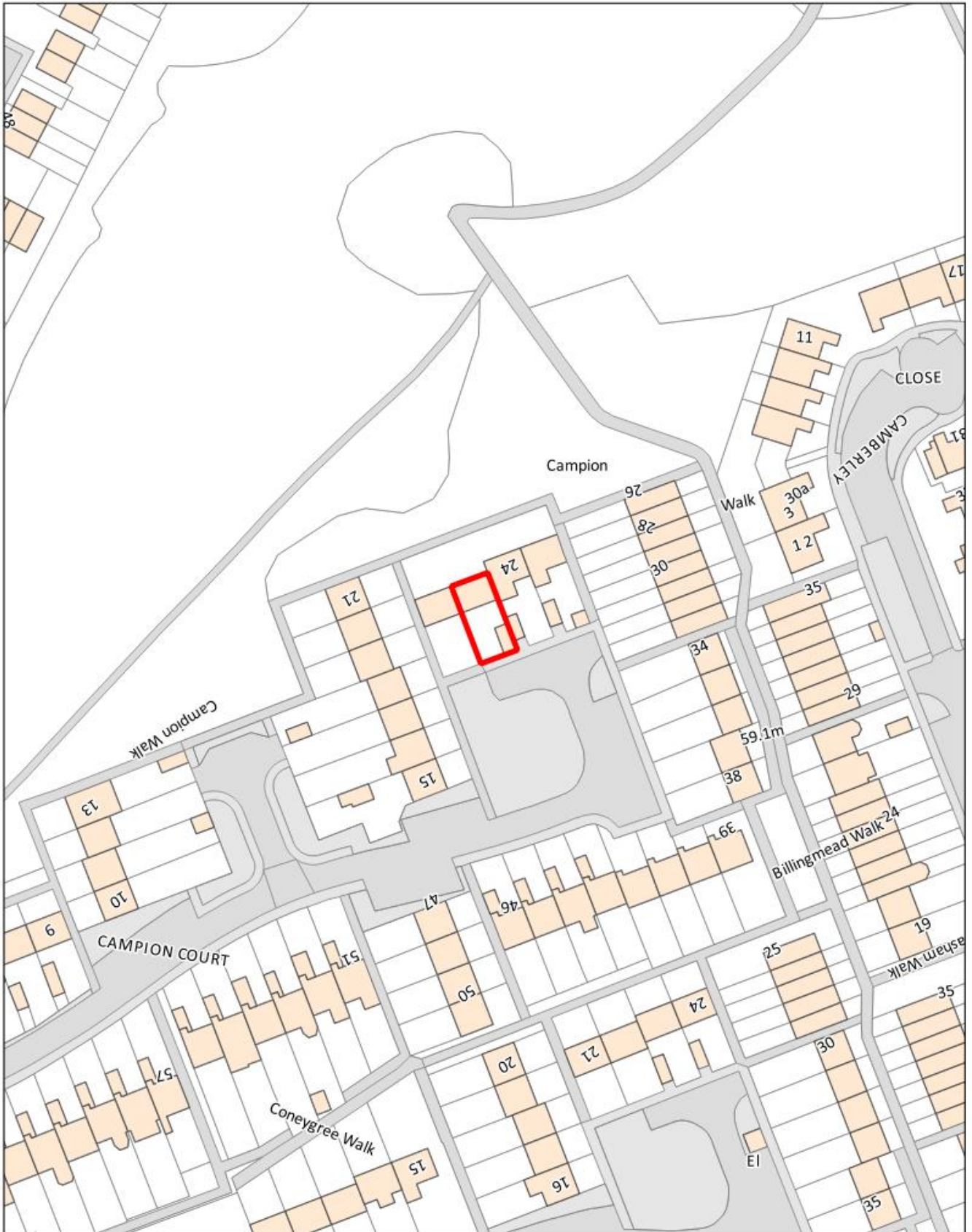
- 11.1 None.

12. LEGAL IMPLICATIONS

- 12.1 The development is not CIL liable.

13. SUMMARY AND LINKS TO CORPORATE PLAN

13. In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



NORTHAMPTON
BOROUGH COUNCIL

Title: **23 Campion Court**

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